

# Your Inspection Report

9427 Springs Court  
Smithtown, GA 30221

**PREPARED FOR:**  
SHANNON & STEVE GOODPEOPLE

**INSPECTION DATE:**  
Tuesday, October 5, 2021

**PREPARED BY:**  
Mike Townsend, Certified Thermal Inspector



Home-Probe  
315 West Ponce de Leon Ave, Suite 559  
Decatur, GA 30030

404-218-1040

[www.home-probe.com](http://www.home-probe.com)  
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We're more than great home inspections, we go way beyond that.



October 13, 2021

Dear Shannon & Steve Goodpeople,

RE: Report No. 41832, v.3  
9427 Springs Court  
Smithtown, GA  
30221

Thank you for choosing Home-Probe, Inc. to perform your Home Inspection. We hope the experience continues to exceed your expectations.

**THE GOAL:**

A home inspection identifies the current condition of the property but cannot predict the future. It is intended to discover MAJOR deficiencies that would change your purchasing decision. While looking for big issues we typically identify some minor defects along the way. We include these in the report as a courtesy, but please understand a home inspection is not a Technical Audit and does not include a comprehensive list of minor issues. Given the limited time available for a home inspection in the course of a real estate transaction, it could be considered a sampling exercise and a snapshot in time that cannot cover all conditions.

PESTS, termites and rodents are not part of this home inspection. We always recommend consulting a licensed pest control company.

RADON has proven to be an issue in Georgia. We encourage and can provide testing and the EPA recommends all homes be tested in the course of a real estate transaction.

SHARE your experience. We want you to be happy. So much so that we stake our reputation on exceeding your expectations. If there is something we did well or something we can do better, please let us and others know.

SOME water departments in Georgia require certificates confirming the installation of low flow fixtures. If you find yourself in need of these forms please call our office.

WE have a 100 day guarantee in place to protect you in the unlikely event conditions change between now and the time you close on the property.

RELATIONSHIPS- We want to build one with you. Please call us with any questions you may have. For as long as you own your home. Or forever. Whichever is first.

THERMAL IMAGING may be part of this inspection and as such, a separate report will follow within 24 hours of receipt of this report.

A home inspection is only an overview of a home in its current condition and cannot be all inclusive. It is designed to mitigate risk and cannot eliminate it altogether. Please feel free to contact us with questions about the report or the home itself any time. Our telephone and e-mail consulting service is available at no cost to you. Please watch for your follow-up e-mail.

Sincerely,

Mike Townsend  
on behalf of  
Home-Probe

Home-Probe  
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# AGREEMENT

9427 Springs Court, Smithtown, GA October 5, 2021

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## PARTIES TO THE AGREEMENT

### Company

Home-Probe  
315 West Ponce de Leon Ave,  
Suite 559  
Decatur, GA 30030

### Client

Shannon & Steve Goodpeople

This is an agreement between Shannon & Steve Goodpeople and Home-Probe.

## INSPECTION AUTHORIZATION FORM

This home inspection is performed in accordance with the Standards of Practice of American Society of Home Inspectors, hereinafter referred to as ASHI. [www.ashi.org](http://www.ashi.org) By acceptance of this form and your Home Inspection Report you confirm that you have read and understand these Standards. This is a visual examination of the mechanical and physical components of real property identified in the inspection report as they exist at the time of the inspection through visual means and operation of normal user controls. In some instances, we may exceed the standards discussed above in our inspection process and they should be considered the baseline for the consulting service. We will tell you whether each item we inspect is performing its intended function or is in need of immediate repair. If an item is listed in the report and there are no notes, it is considered to be performing properly. We will explain verbally and in writing what we saw about each item. The home inspector does not necessarily possess licenses authorizing the rendering of detailed opinions regarding any or all of the systems, structures, and components of a building. This is not an Official Georgia Wood Infestation Report relating to termites or any other type of rodents or pests. An evaluation by a specialist in that field will be required to determine if there are issues related to wood destroying organisms or other pests.

### Outside the Scope of a Home Inspection:

1. We do not make guarantees, representations or insure the performance or condition of any item after the date and time of this inspection. Please remember that almost every component in any house, except new construction, is in used condition and has ordinary wear and tear.
2. We do not inspect any item which we cannot see in a normal inspection. For example, we do not move furniture, floor or wall coverings, or other furnishings. We do not inspect septic tanks, buried pipes or wiring. We do not dismantle equipment to inspect component parts. We do suggest that you ask the owner about repairs, covered up items or previous problems.
3. We do not inspect for formaldehyde, lead, mold, asbestos or other environmental hazards. If anyone in the home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens.
4. The Inspection does not include spores, fungus, mold or mildew that may be present. You should note that whenever there is water damage or the accumulation of water noted anywhere in the report, there is a possibility that mold or mildew may be present, unseen behind a wall, floor or ceiling. If anyone in your home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens at additional cost. These conditions can form in as little as 24 hours. Green Home Solutions is a reputable environmental company and an Indoor Air Quality Assessment can be obtained from them by calling (770) 629-9188.
5. We do not inspect for building codes, soil analysis, gas leaks, adequacy of design, capacity, efficiency, size, value, flood plain, pollution or habitability. Please remember that older houses do not meet the same standard as newer houses even though items in both might be performing functions for which they are intended.



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NOTE: THE INSPECTION AND SUBSEQUENT REPORT PERFORMED AND GENERATED FOR THE CLIENT NAMED ON THE COVER PAGE OF THE INSPECTION REPORT AND IS NOT TRANSFERABLE TO ANY OTHER PERSON OR ENTITY.

I, **Shannon & Steve Goodpeople (Signature)** \_\_\_\_\_, **(Date)** \_\_\_\_\_, **have read, understood and accepted the terms of this agreement.**

# KEY FACTORS

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KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

THERMAL IM

NON-SCOPE

LIMITATIONS

APPENDIX

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

The goal of a home inspection is to identify significant issues that would affect the average person's decision to buy a home. While looking for big issues we typically identify some minor defects along the way. We include these in the report as a courtesy. When you move into the home you may find some issues not identified in the report. That is to be expected and we suggest you allow roughly 1% of the value of the home annually for this type of maintenance and repair.

It's important to understand and acknowledge that a home with older systems does not mean a poor quality house. Houses are designed to and do last a very long time, but many of the components are consumable. Roofs, heating systems, air conditioning systems and water heaters, for example, wear out and are replaced from time to time.

## Exterior

### LANDSCAPING \ General notes

**Condition:** • Rotten Retaining Wall

**Location:** Left rear

**Task:** Repair or replace

**Time:** Immediate

**Cost:** This depends on the material used for replacement. Expect cost to start at the \$2,000 range and go up from there

## Structure

### FOUNDATIONS \ General notes

**Condition:** • Multiple Issues throughout. As evidenced in the report, there are multiple foundation and/or structure issues. For a complete understanding of all repairs that may be required, a foundation specialist or structural engineer should be consulted to provide a scope of work.

Area identified and photos are representative only. A qualified contractor will need to evaluate the entire system to determine extent of damage and necessary repairs to prepare an estimate or invoice to know the true cost associated with remediation of this condition

**Location:** Crawlspace

**Task:** Be Advised - Consult with qualified contractor of Structural Engineer

**Time:** As Soon as Possible

**Cost:** Recommend getting estimates

**Condition:** • Cracked

While there are obvious issues with the foundation, an engineer will be required to assess and write a scope of work before any cost estimates can be associated with repair

NOTE: Area identified and photos are representative only. A qualified contractor will need to evaluate the entire system to determine extent of damage and necessary repairs to prepare an estimate or invoice to know the true cost associated with remediation of this condition

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**Location:** Garage under stairs, at basement/garage stairs, crawl space left

**Task:** Structural Engineer or Foundation Expert should evaluate

**Time:** Immediate

**Cost:** \$5,000 and up. Depends on the preferred remedy of repair

## Electrical

### RECOMMENDATIONS \ Overview

**Condition:** • There are multiple electrical issues identified in this inspection report. This is evidence to suggest there have been electrical repairs, additions, or alterations that were carried out by someone other than a qualified electrical contractor which is not an uncommon part of the cycle of a home. Further, our experience is there will most likely be issues that will only be discovered with time or repetition after the system has been used regularly by its occupants. For this reason, it is recommended that the entire electrical system be evaluated by a qualified electrician from a micro level to determine what immediate repairs will be required and to gain a clear understanding of the associated costs

**Task:** Qualified Electrician should evaluate

**Time:** Immediate

**Cost:** Recommend getting estimate

## Plumbing

### RECOMMENDATIONS \ Overview

**Condition:** • There are multiple plumbing related items identified in this full inspection report. This is evidence to suggest there have been plumbing repairs, additions, or alterations that were carried out by someone other than a qualified plumber. There will most likely be issues that will only be discovered with time or repetition after the system has been used regularly by its occupants. It is recommended that the entire plumbing system be evaluated by a qualified plumber to determine what immediate repairs will be required and to gain a better and more detailed understanding of the associated costs by a specialist.

**Task:** Qualified Plumber should evaluate

**Time:** Immediate

**Cost:** Depends on the preferred remedy of repair

### WATER HEATER \ General notes

**Condition:** • Leaking Tank

**Task:** Replace

**Time:** Immediate

**Cost:** \$1,000 - \$2,000

### WATER HEATER \ Life expectancy

**Condition:** • Near end of life expectancy

Continue to use the water heater normally and replace when the appliance is no longer functional. Where significant damage from a leak may occur, proactive replacement is recommended.

**Task:** Prepare for Replacement

**Time:** Unpredictable

**Cost:** \$1,000 - \$2,000

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## Limitations

### INSULATION AND VENTILATION \ Limitations

**Condition:** • No Attic Access

There was no attic access available at the time of the inspection. There is always risk associated with inaccessible areas and depending on your tolerance level, we recommend calling our office to schedule a courtesy visit for an inspector to come back to the home for evaluation of this area when access can be provided.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

Un-planned repairs or replacements are never welcome, but are part of the 'joy of home ownership'. We encourage you to set up maintenance programs to protect your investment, reduce costs, improve comfort and efficiency, and extend life expectancy. The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

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## Observations and Recommendations

### ROOFING \ Shingles

**1. Condition:** • Granule Loss

Shingles are starting to loose granules, which is an indication of wear. This shows the shingles to be brittle and dried out and as the condition deteriorates and repairs become necessary, replacement may be a better option than repair.

**Location:** Throughout

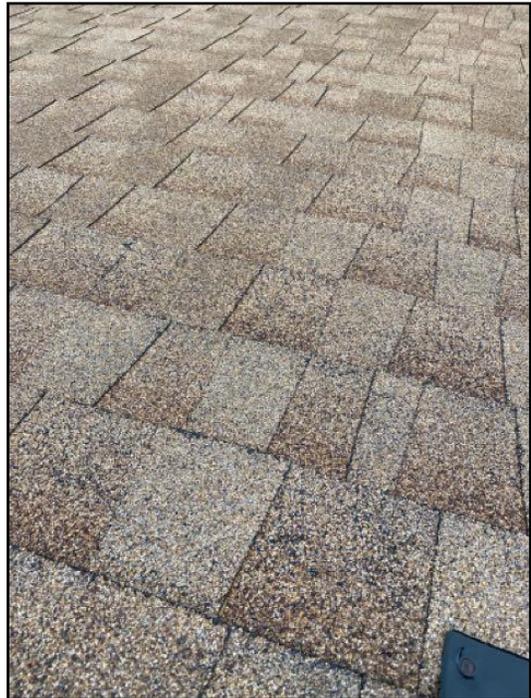
**Task:** Monitor

**Time:** Ongoing

**Cost:** \$4.50 to \$7.50 per square foot depending on the grade of the shingle



1. Granule Loss



2. Granule Loss

# ROOFING

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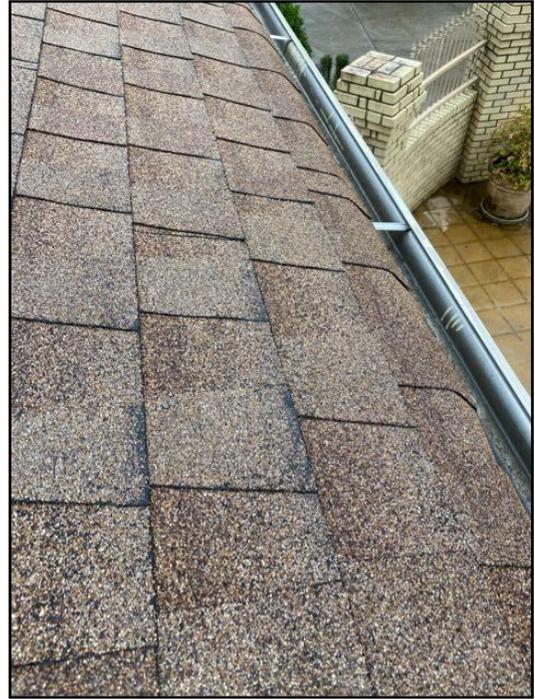
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3. Granule Loss



4. Granule Loss

**2. Condition:** • Tree branches touching/too close to roof

**Location:** Right rear

**Task:** Trim branches back

**Time:** As Soon As Possible

**Cost:** Regular maintenance item

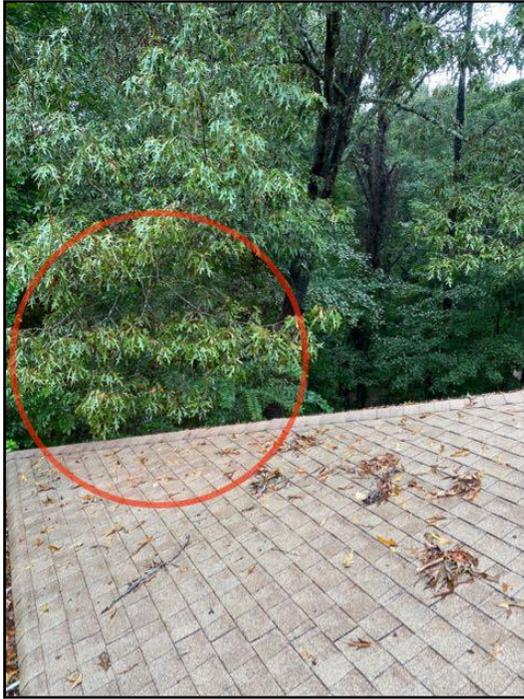
# ROOFING

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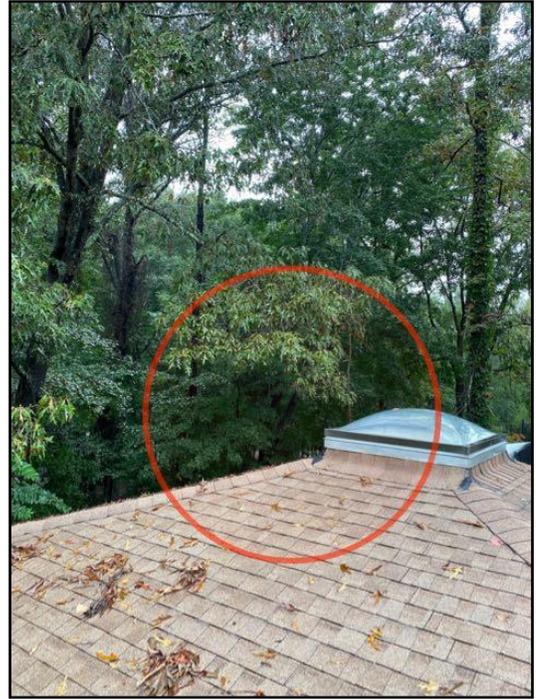
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5. Tree branches touching/too close to roof



6. Tree branches touching/too close to roof

**3. Condition:** • Installation issues

**Location:** At valeys

**Task:** Evaluation by roofing contractor to determine necessary repairs

**Time:** Immediate

**Cost:** Depends on the preferred remedy of repair

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7. Installation issues



8. Installation issues

4. Condition: • Patched/Repaired

Location: Skylights

Task: Be advised - Request disclosure



9. Patched/Repaired



10. Patched/Repaired

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11. Patched/Repaired

**5. Condition:** • Vulnerable areas

**Location:** Skylights

**Task:** Be Advised, Monitor

**Time:** Ongoing

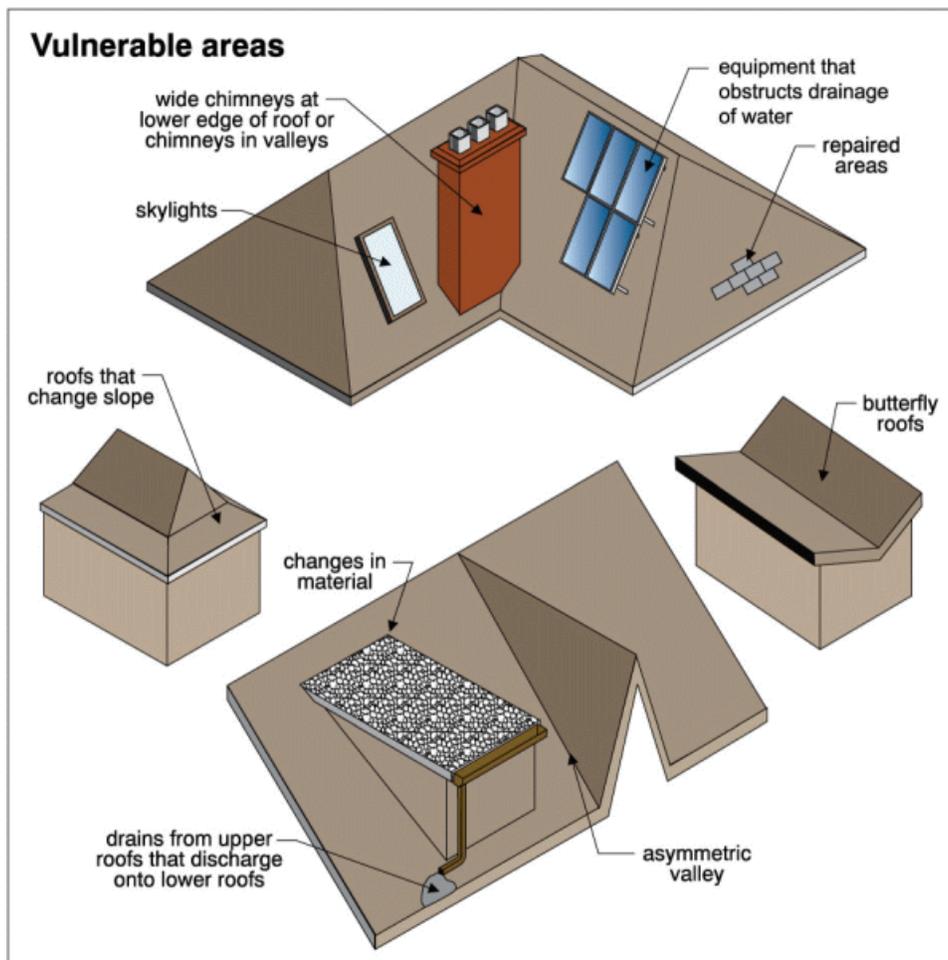
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## ROOF FLASHINGS \ General notes

**6. Condition:** • Skylight flashing issues

**Task:** Repair As Needed

**Time:** Immediate

**Cost:** Depends on complexity and extent of work needed

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12. Skylight flashing issues

## Description

**General:** • Our inspection of the readily accessible roof system included a visual examination to determine damage or material deterioration. We walk on the roof only when it is safe to do so and is not likely to damage the roof materials. We look for evidence of roof system leaks and damage. We cannot predict when or if a roof might leak in the future.

**Roofing Material:**

- Architectural - Life Expectancy 20-25 Years

# ROOFING

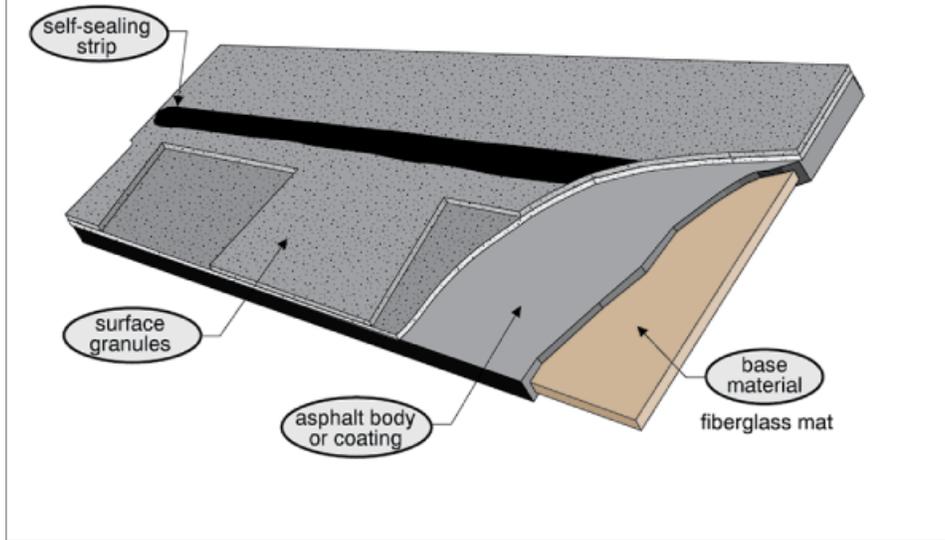
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## Architectural (dimensional) shingles



13. Architectural - Life Expectancy 20-25 Years



14. Architectural - Life Expectancy 20-25 Years

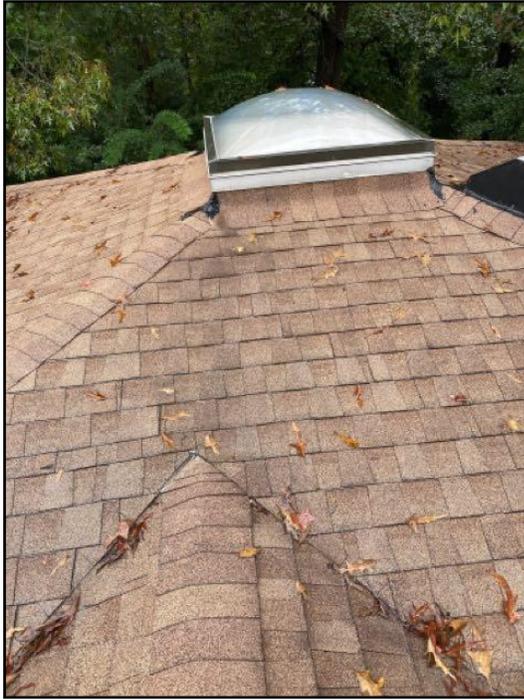
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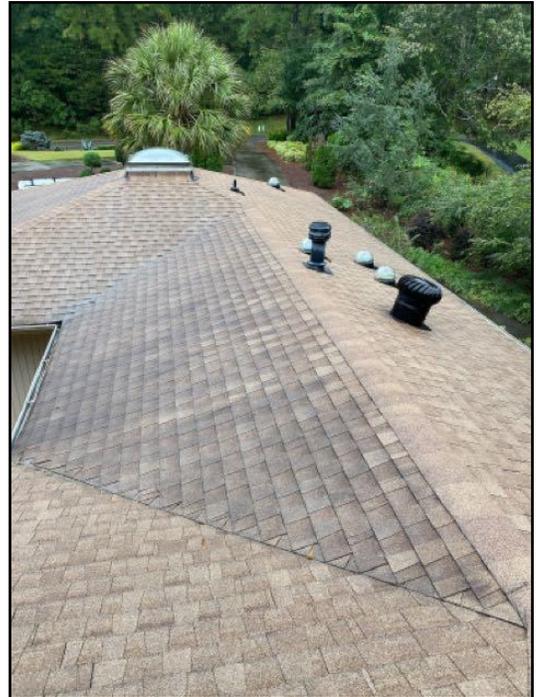
15. Architectural - Life Expectancy 20-25 Years



16. Architectural - Life Expectancy 20-25 Years



17. Architectural - Life Expectancy 20-25 Years



18. Architectural - Life Expectancy 20-25 Years

**Approximate age:** • 10-15 years

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## Inspection Methods and Limitations

**Inspection performed:** • By walking on roof  
**Age determined by:** • Visual inspection from roof surface

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## Observations and Recommendations

### ROOF DRAINAGE \ Gutters and Downspouts

**7. Condition:** • Discharges Too Close to the Building

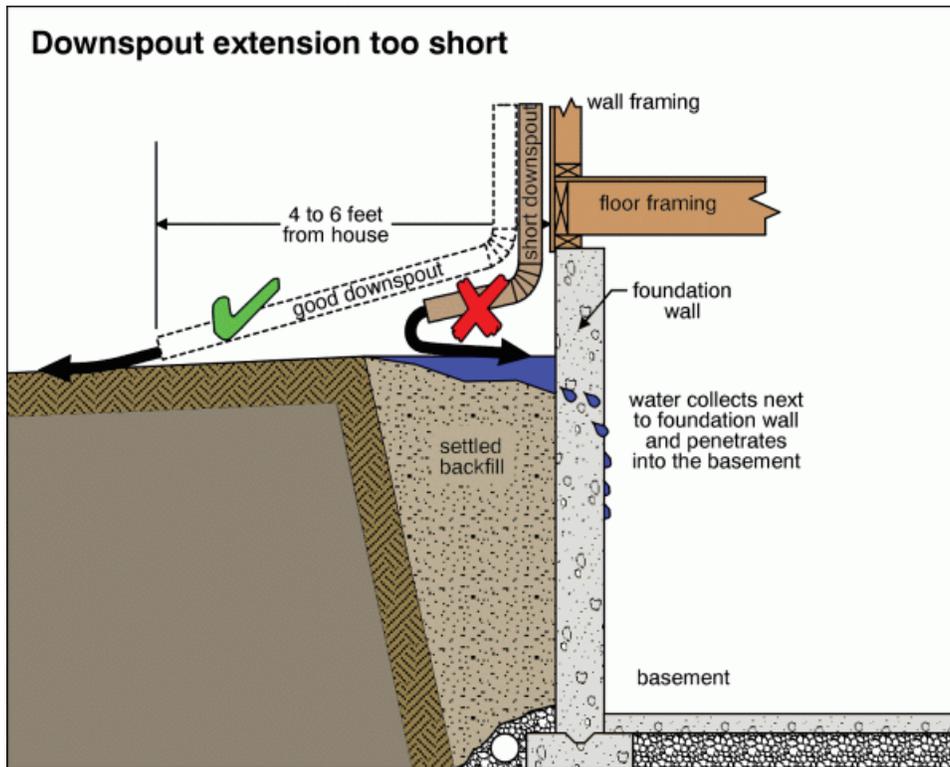
Locations and photos are representative. All downspout terminations should be corrected as necessary.

**Location:** Rear

**Task:** Extend downspout termination point at least 6 feet away from building, foundations, footings and slabs.

**Time:** Immediate

**Cost:** Minor



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19. Discharges Too Close to the Building

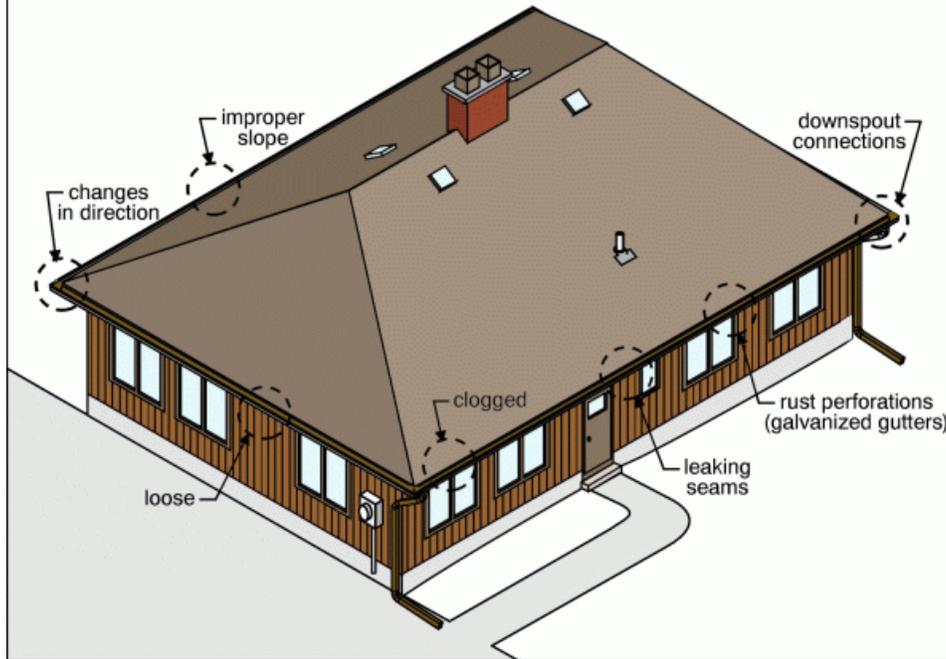


20. Discharges Too Close to the Building

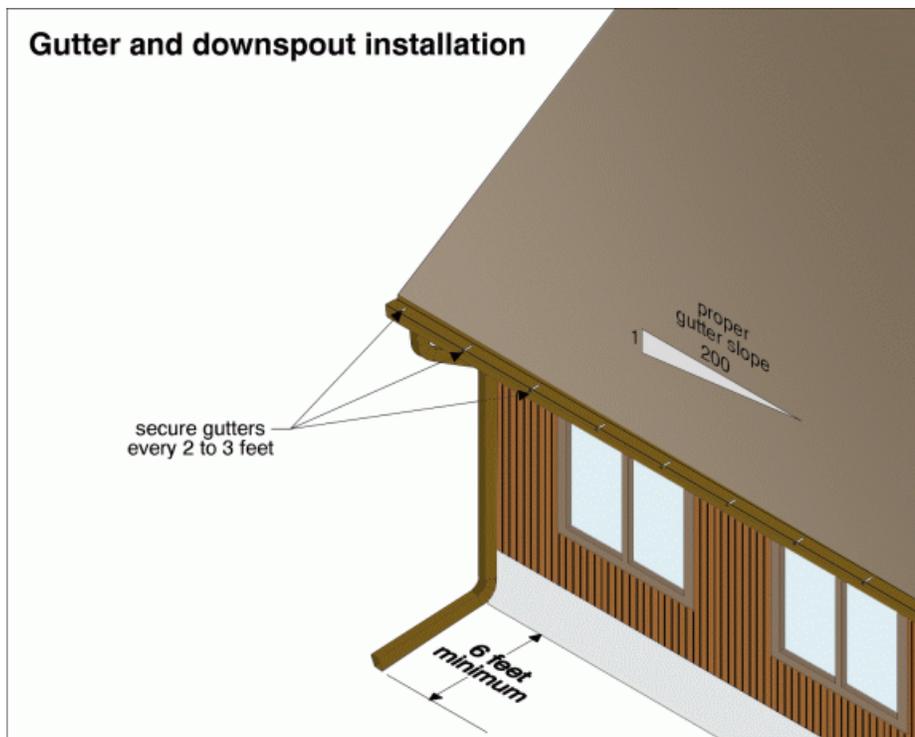
**8. Condition:** • Improper Slope/Ponding Water  
Holding water  
**Location:** Rear, right side  
**Task:** Rehang or Re-support Gutters  
**Time:** Immediate  
**Cost:** Regular maintenance item

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## Gutters - common reasons for leakage



## Gutter and downspout installation



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21. Improper Slope/Ponding Water



22. Improper Slope/Ponding Water



23. Improper Slope/Ponding Water

## **WALLS \ Siding and trim**

**9. Condition:** • Rot/Insect damage

In the process of repairing the areas outlined in this report, it is possible there will be additional areas requiring repair

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when the process has been started. The photos and locations noted in this report should only be considered representative of the condition and not all encompassing.

**Location:** At garage, at chimney

**Task:** Repair or replace

**Time:** Immediate

**Cost:** \$150 - \$300 per location



24. Rot/Insect damage



25. Rot/Insect damage

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26. Rot/Insect damage

**10. Condition:** • Paint or stain needed

In the process of repairing the areas outlined in this report, it is possible there will be additional areas requiring repair when the process has been started. The photos and locations noted in this report should only be considered representative of the condition and not all encompassing.

**Location:** Rear

**Task:** Provide

**Time:** As Soon As Possible

**Cost:** As a general rule, painting is about \$1,000 per side. Spot repairs may be less and it is unlikely the paint will match.

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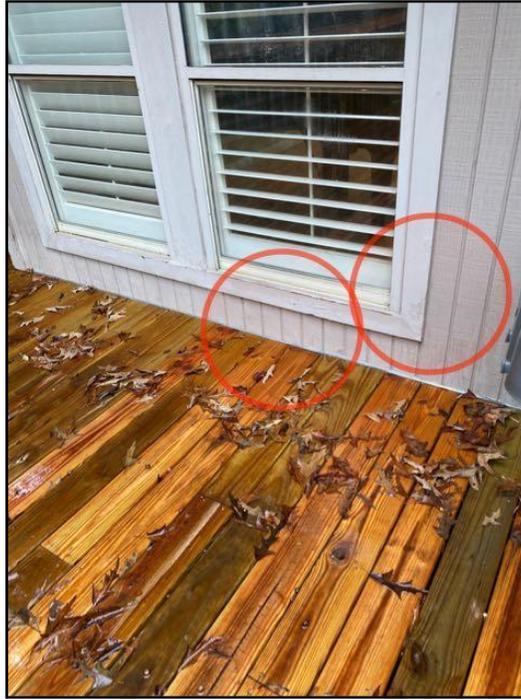
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*27. Paint or stain needed*

**11. Condition:** • Stucco Cracked or Damaged

More invasive testing is usually required when there are cracks or damaged. Sometimes they extend beyond the surface and recommend evaluation by a qualified contractor. If these are only surface cracks there will still be the consideration of matching existing painting which can add considerably to repair costs.

**Location:** Left side, rear

**Task:** Repair

**Time:** Immediate

**Cost:** Recommend getting estimate

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28. Stucco Cracked or Damaged



29. Stucco Cracked or Damaged

## **PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes**

**12. Condition:** • [Wood/soil contact](#)

Recommend excavating 6 to 8 inches away from the wood and replace with gravel or like material for drainage.

**Location:** Throughout deck posts

**Task:** Correct

**Time:** As Soon As Possible

**Cost:** Minor

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30. Wood/soil contact



31. Wood/soil contact



32. Wood/soil contact

13. Condition: • [Lateral bracing needed](#)

Task: Provide

Time: Immediate

# EXTERIOR

9427 Springs Court, Smithtown, GA October 5, 2021

Report No. 41832, v.3

[www.home-probe.com](http://www.home-probe.com)

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

**Cost:** Minor

**14. Condition:** • [Improper Footings](#)

**Location:** Deck

**Task:** Upgrade

**Time:** As Soon As Possible

**Cost:** \$150 - \$300 Each



33. *Improper Footings*

**15. Condition:** • [Missing/improper joist hangers](#)

**Task:** Improve

**Time:** Immediate

**Cost:** Minor

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs, Landings and Stringers

**16. Condition:** • [Landings missing/inadequate](#)

**Task:** Improve

**Time:** Immediate

**Cost:** Depends on the preferred remedy of repair

# EXTERIOR

9427 Springs Court, Smithtown, GA October 5, 2021

Report No. 41832, v.3

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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34. Landings missing/inadequate

## **PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards**

17. **Condition:** • Graspable Handrail Missing

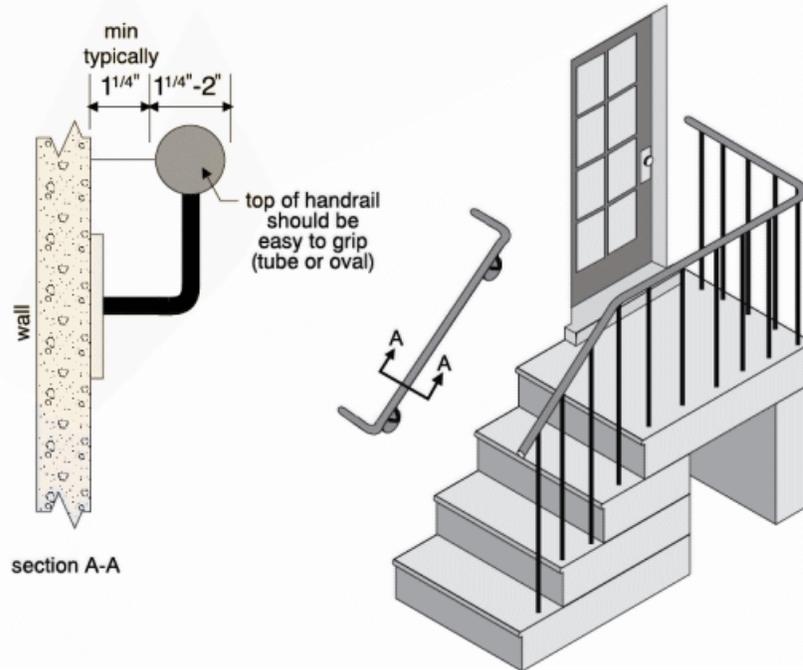
**Task:** Provide

**Time:** As Soon As Possible

**Cost:** \$200 and up

KEY FACTOR	ROOFING	<b>EXTERIOR</b>	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

## Handrail design



35. *Graspable Handrail Missing*

### LANDSCAPING \ General notes

18. **Condition:** • Improper Slope or Drainage

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THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

The photos and locations noted in this report should only be considered representative of the condition and not all encompassing.

**Location:** Left rear, front

**Task:** Improve to have at least a 6 inch drop within 10 feet of the building

**Time:** Immediate

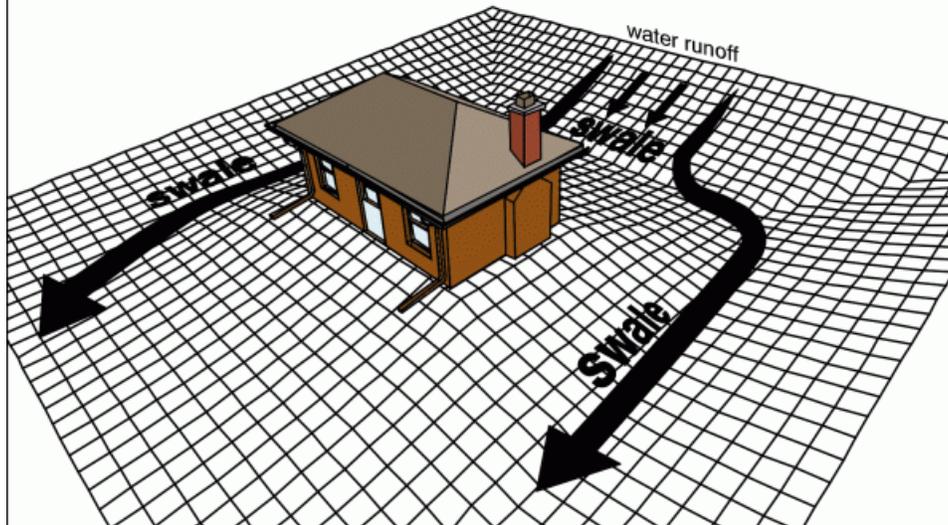
**Cost:** Depends on the preferred remedy of repair



KEY FACTOR	ROOFING	<b>EXTERIOR</b>	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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**Swales**

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



**36. Improper Slope or Drainage**

**19. Condition:** • Trees or Shrubs too close to building

The photos and locations noted in this report should only be considered representative of the condition and not all

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THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

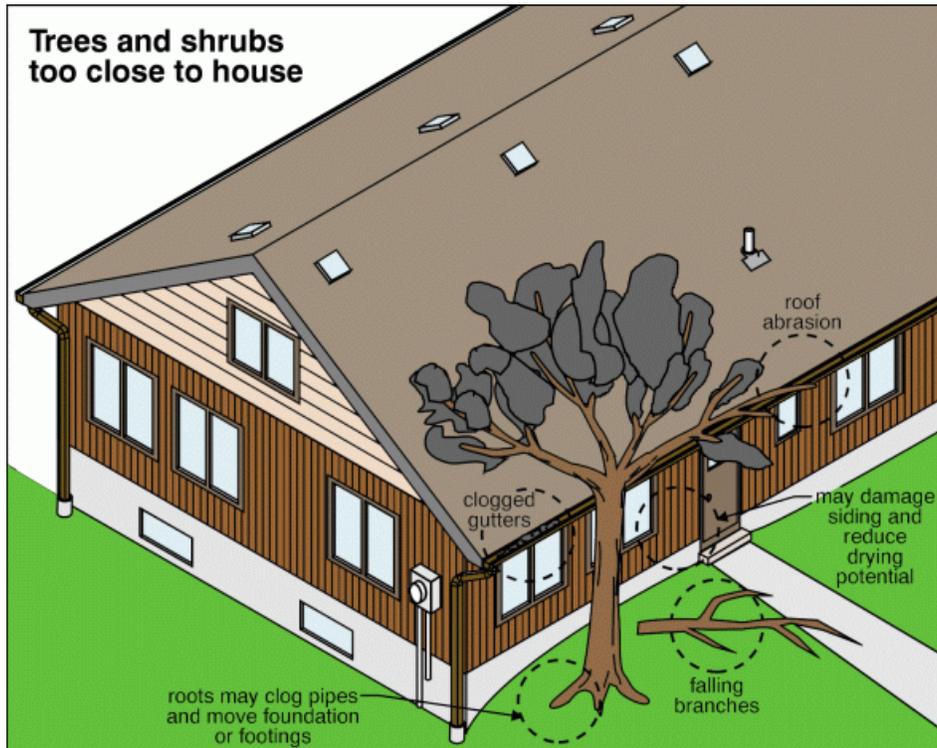
encompassing.

**Location:** Left side, right side

**Task:** Trim branches

**Time:** As Soon As Possible

**Cost:** Regular maintenance item



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THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



37. Trees or Shrubs too close to building



38. Trees or Shrubs too close to building

**20. Condition:** • Cracked or Damaged Surfaces

The photos and locations noted in this report should only be considered representative of the condition and not all encompassing.

**Location:** Driveway, pool area

**Task:** Repair As Needed

**Time:** Discretionary

**Cost:** \$5 to \$7 per square foot to pour concrete

# EXTERIOR

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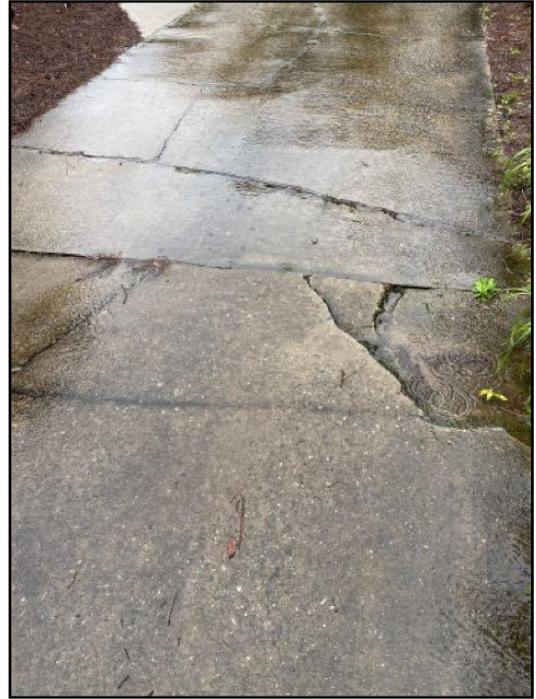
Report No. 41832, v.3

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KEY FACTOR	ROOFING	<b>EXTERIOR</b>	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



39. Cracked or Damaged Surfaces



40. Cracked or Damaged Surfaces



41. Cracked or Damaged Surfaces

**21. Condition:** • Rotten Retaining Wall

**Location:** Left rear

**Task:** Repair or replace

# EXTERIOR

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THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

**Time:** Immediate

**Cost:** This depends on the material used for replacement. Expect cost to start at the \$2,000 range and go up from there



42. Rotten Retaining Wall

**22. Condition:** • Heaved

**Location:** Pool area

**Task:** Consult with a qualified contractor

**Time:** As soon as possible

**Cost:** Depends on remedy preferred

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KEY FACTOR	ROOFING	<b>EXTERIOR</b>	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



43.

## **GARAGE \ General notes**

**23. Condition:** • Vehicle Door is Dented/Damaged

This is more a cosmetic issue as door functions properly.

**Task:** Repair or replace

**Time:** Discretionary

**Cost:** Depends on the preferred remedy of repair

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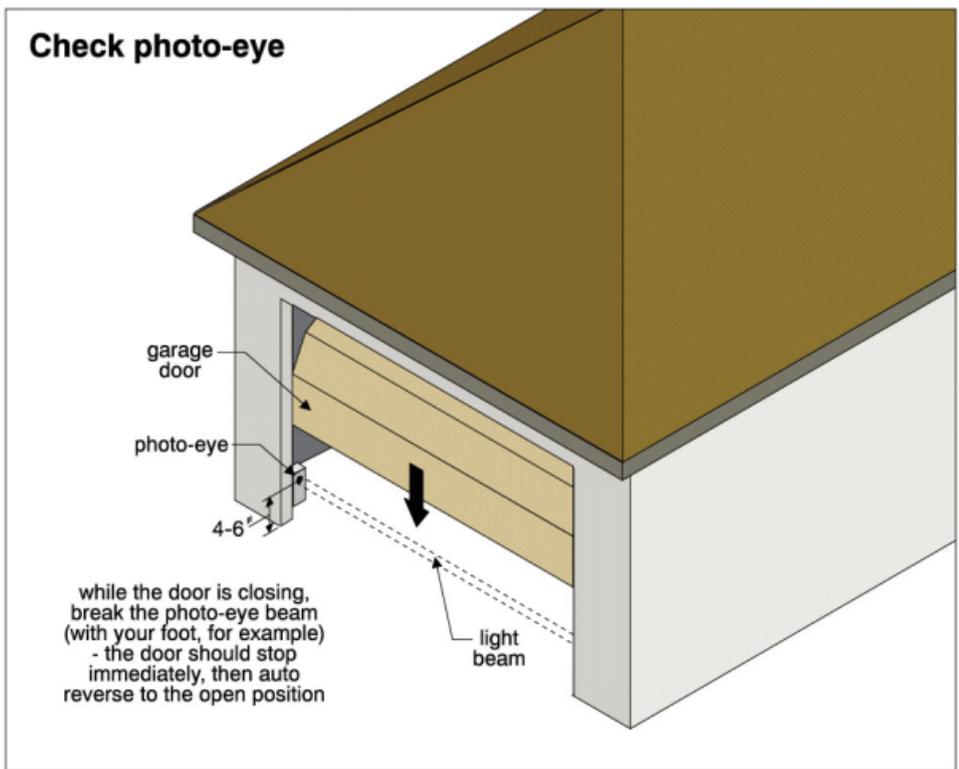
KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



44. *Vehicle Door is Dented/Damaged*

**24. Condition:** • Sensors Poorly Located  
Too high  
**Task:** Adjust Location of sensors  
**Time:** Immediate  
**Cost:** Minor

KEY FACTOR	ROOFING	<b>EXTERIOR</b>	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



45. Sensors Poorly Located

25. Condition: • Water Intrusion

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THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

**Task:** Correct

**Time:** Immediate

**Cost:** Source of water will need to be confirmed to determine necessary remedy



46. Water Intrusion

## Description

**Gutter & downspout material:** • Aluminum/Galvanized

**Downspout discharge:** • [Below grade](#) • [Above grade](#)

**Lot slope:** • [Hillside](#)

**Soffit (underside of eaves) and fascia (front edge of eaves):** • [Hardboard/Plywood](#)

**Wall surfaces and trim:** • [Stucco/EIFS \(Exterior Insulation and Finishing System or Synthetic Stucco\)](#) • [Wood](#)

**Retaining wall:** • [Wood](#)

**Driveway:** • Concrete

**Deck:** • Raised - Wood

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THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

## Inspection Methods and Limitations

**Exterior inspected from:** • Ground level

KEY FACTOR	ROOFING	EXTERIOR	<b>STRUCTURE</b>	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

## Observations and Recommendations

### FOUNDATIONS \ General notes

**26. Condition:** • Multiple Issues throughout. As evidenced in the report, there are multiple foundation and/or structure issues. For a complete understanding of all repairs that may be required, a foundation specialist or structural engineer should be consulted to provide a scope of work.

Area identified and photos are representative only. A qualified contractor will need to evaluate the entire system to determine extent of damage and necessary repairs to prepare an estimate or invoice to know the true cost associated with remediation of this condition

**Location:** CrawlSpace

**Task:** Be Advised - Consult with qualified contractor of Structural Engineer

**Time:** As Soon as Possible

**Cost:** Recommend getting estimates

**27. Condition:** • Typical minor cracks/settling

This is consistent with a home this age and pointed out as a courtesy and no issues noted.

**Location:** Garage

**Task:** Be advised



47. Typical minor cracks/settling

**28. Condition:** • Cracked

While there are obvious issues with the foundation, an engineer will be required to assess and write a scope of work before any cost estimates can be associated with repair

NOTE: Area identified and photos are representative only. A qualified contractor will need to evaluate the entire system to determine extent of damage and necessary repairs to prepare an estimate or invoice to know the true cost associated

KEY FACTOR	ROOFING	EXTERIOR	<b>STRUCTURE</b>	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

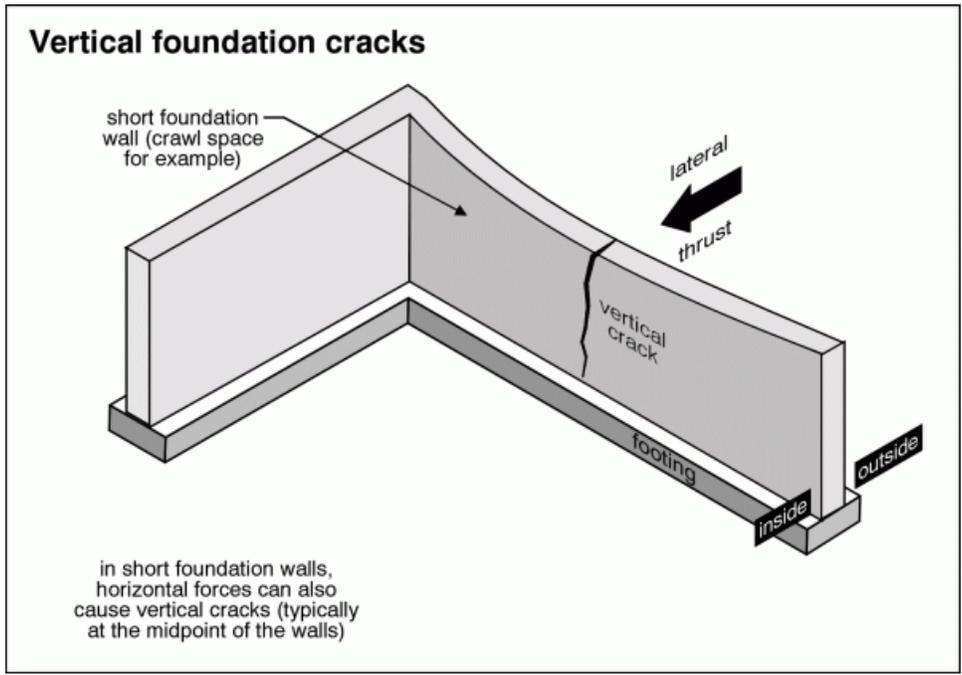
with remediation of this condition

**Location:** Garage under stairs, at basement/garage stairs, crawl space left

**Task:** Structural Engineer or Foundation Expert should evaluate

**Time:** Immediate

**Cost:** \$5,000 and up. Depends on the preferred remedy of repair



48. Cracked



49. Cracked

# STRUCTURE

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[www.home-probe.com](http://www.home-probe.com)

KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

THERMAL IM

NON-SCOPE

LIMITATIONS

APPENDIX

REFERENCE

**29. Condition:** • Leak

**Implication(s):** Damage to structure and contents

**Location:** Basement foundation wall under stairs

**Task:** Consult with a qualified contractor

**Time:** Immediate

**Cost:** Depends on remedy preferred



50.

## FLOORS \ Columns or piers

**30. Condition:** • Leaning

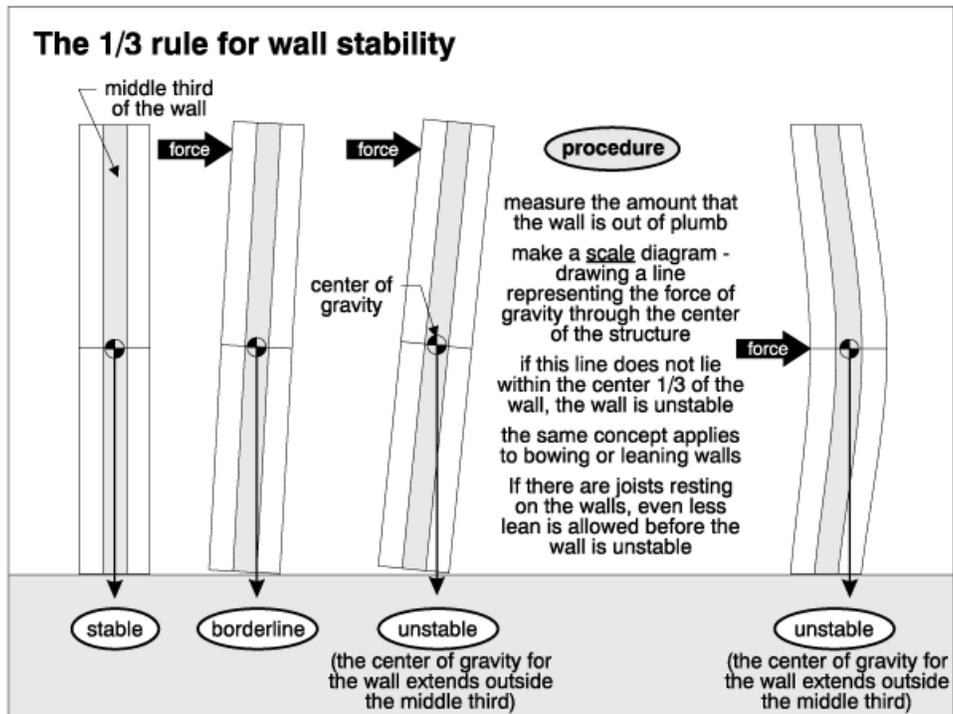
**Location:** Right side

**Task:** Consult with a qualified contractor

**Time:** As Soon As Possible

**Cost:** Depends on the preferred remedy of repair

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



51. Leaning

**31. Condition:** • Temporary Support with Issues.

There are concerns surrounding the temporary or supplemental supports installed in the crawlspace. This is usually done in response to some type of movement or settling and as a temporary corrective measure. There is noticeable movement at areas in the home and a qualified contractor will need to be consulted to determine the most appropriate method for

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remedy. These supports are only addressing the symptom of what appears to be a more significant problem as the movement in the home may be excessive compared to similar homes of this age and construction type.

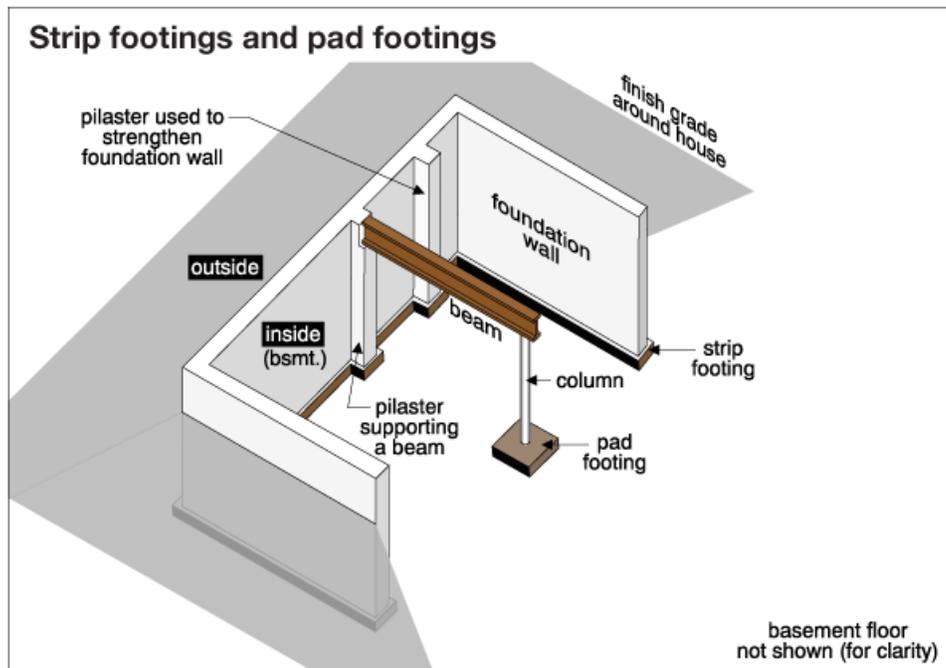
NOTE: Area identified and photos are representative only. A qualified contractor will need to evaluate the entire system to determine extent of damage and necessary repairs to prepare an estimate or invoice to know the true cost associated with remediation of this condition

**Location:** Crawl space left

**Task:** Consult with a qualified contractor

**Time:** Immediate

**Cost:** \$200 - \$400 Each



# STRUCTURE

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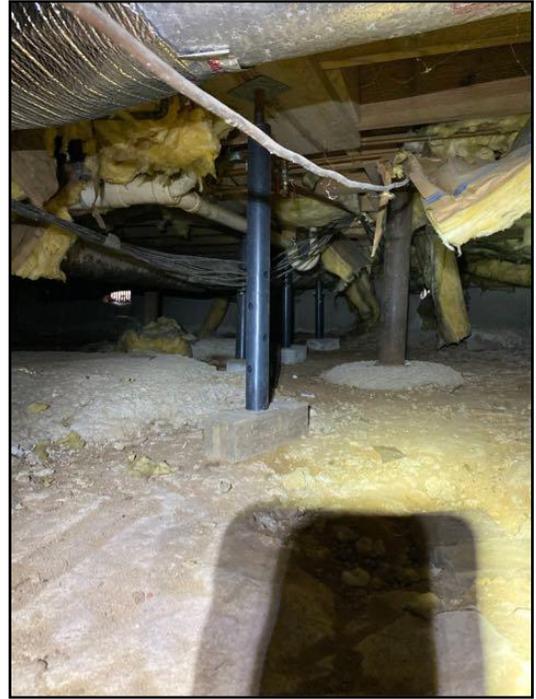
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KEY FACTOR	ROOFING	EXTERIOR	<b>STRUCTURE</b>	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



52. Temporary Support with Issues.



53. Temporary Support with Issues.



54. Temporary Support with Issues.



55. Temporary Support with Issues.

KEY FACTOR	ROOFING	EXTERIOR	<b>STRUCTURE</b>	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

## Description

**General:** • Our inspection of the structure included a visual examination of the exposed, readily accessible portions of the structure. These items were examined for visible defects, excessive wear, and general condition. Many structural components are inaccessible because they are buried below grade or are behind finished surfaces. Therefore, much of the inspection was performed by looking for visible symptoms of movement, damage and deterioration. Where there are no symptoms, conditions requiring further review or repair may go undetected and identification is not possible without destructive testing.

**Configuration:** • [Basement](#) • [Crawlspace](#)

**Foundation material:** • [Poured concrete](#)

**Floor construction:** • [Joists](#) • Concrete columns • Steel columns • Wood beams (Laminated, Engineered or Built up) • Subfloor - plywood

**Exterior wall construction:** • [Wood frame](#)

**Roof and ceiling framing:** • Not visible

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Insulation • We make no representations as to the internal conditions or stability of soils, concrete footings and foundations, except as exhibited by their performance. We cannot predict when or if foundations or roofs might leak in the future.

**Attic/roof space:** • No access

**Percent of foundation not visible:** • 20 %

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

## Observations and Recommendations

### **RECOMMENDATIONS \ Overview**

**32. Condition:** • There are multiple electrical issues identified in this inspection report. This is evidence to suggest there have been electrical repairs, additions, or alterations that were carried out by someone other than a qualified electrical contractor which is not an uncommon part of the cycle of a home. Further, our experience is there will most likely be issues that will only be discovered with time or repetition after the system has been used regularly by its occupants. For this reason, it is recommended that the entire electrical system be evaluated by a qualified electrician from a micro level to determine what immediate repairs will be required and to gain a clear understanding of the associated costs

**Task:** Qualified Electrician should evaluate

**Time:** Immediate

**Cost:** Recommend getting estimate

### **SERVICE BOX, GROUNDING AND PANEL \ Distribution panel**

**33. Condition:** • Improper cover screws used to secure panel

Sharp or self tapping screws should no be used to secure panel cover as there is a risk of penetrating conductors inside.

**Task:** Replace

**Time:** Immediate

**Cost:** Minor



**56.** *Improper cover screws used to secure panel*

**34. Condition:** • Circuits Not Labeled

**Task:** Improve

**Time:** Discretionary

**Cost:** Minor

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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**35. Condition:** • Crowded

**Task:** Upgrade

**Time:** Discretionary

**Cost:** \$2,000 - and up



*57. Crowded*

### SERVICE BOX, GROUNDING AND PANEL \ Panel wires

**36. Condition:** • Bundling of neutral conductors

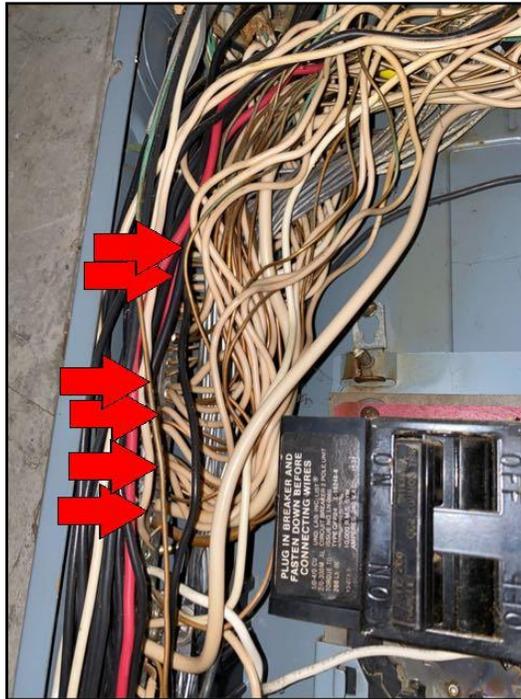
**Location:** Panel

**Task:** Separate conductors at the panel

**Time:** Immediate

**Cost:** Minor

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



58. Bundling of neutral conductors

## **DISTRIBUTION SYSTEM \ Outlets (receptacles)**

**37. Condition:** • Ungrounded

The photos and locations noted in this section should only be considered representative of the condition and not all encompassing.

**Location:** Front right room

**Task:** Correct

**Time:** Immediate

**Cost:** Depends on work needed \$125 - \$250 per location

# ELECTRICAL

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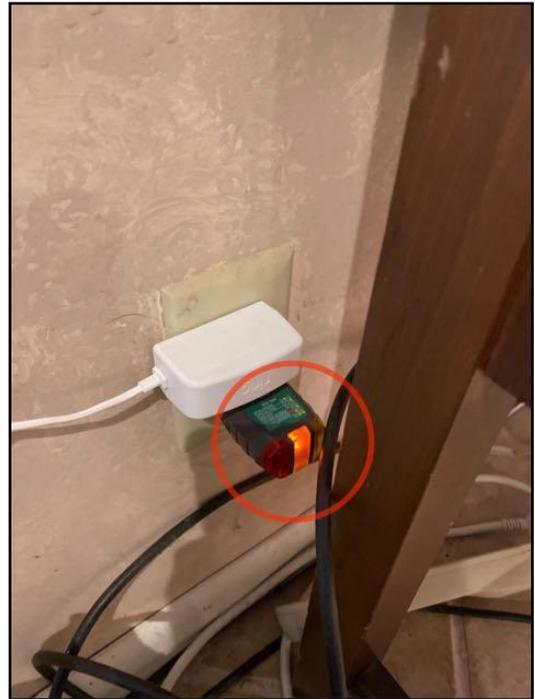
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THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



59. Ungrounded



60. Ungrounded



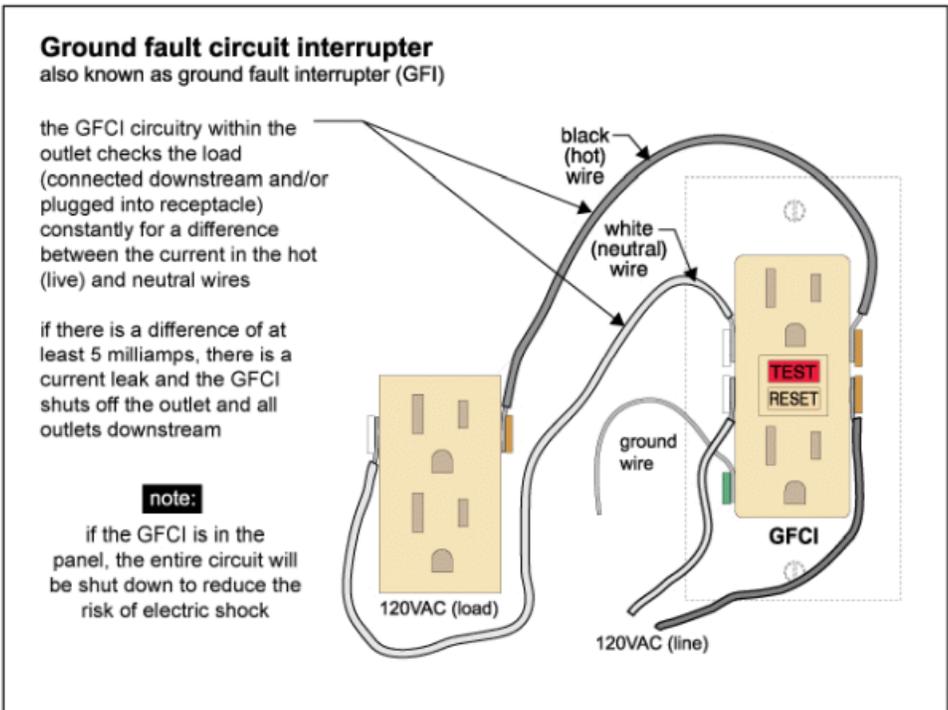
61. Ungrounded

**38. Condition:** • No GFCI/GFI (Ground Fault Circuit Interrupter)

The photos and locations noted in this section should only be considered representative of the condition and not all encompassing.

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

**Location:** Laundry room  
**Task:** Upgrade  
**Time:** Immediate  
**Cost:** Less than \$100 - Each



62. No GFCI/GFI (Ground Fault Circuit...

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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**39. Condition:** • Inoperative

The photos and locations noted in this section should only be considered representative of the condition and not all encompassing.

**Location:** Pool deck

**Task:** Replace

**Time:** Immediate

**Cost:** Minor



**63.** *Inoperative*

**40. Condition:** • Missing weather cover

The photos and locations noted in this section should only be considered representative of the condition and not all encompassing.

**Location:** Pool deck

**Task:** Provide

**Time:** Immediate

**Cost:** Minor

**DISTRIBUTION SYSTEM \ Lights**

**41. Condition:** • Inoperative

This is most likely blown bulbs and recommend confirming operation from the seller. The photos and locations noted in this section should only be considered representative of the condition and not all encompassing.

**Location:** Front right room

**Task:** Correct

**Time:** Immediate

**Cost:** Minor

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



64. *Inoperative*

**42. Condition:** • Damaged Fixture

**Location:** Garage

**Task:** Repair or replace

**Time:** Immediate

**Cost:** Minor

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



65. Damaged Fixture

### **DISTRIBUTION SYSTEM \ Smoke alarms (detectors)**

**43. Condition:** • [Over 10 Years Old](#)

The smoke detectors in this home are most likely over 10 years old. NFPA recommends they be replaced every 10 years and suggest doing so upon taking ownership.

**Location:** Throughout

**Task:** Replace

**Time:** Immediate

**Cost:** Less than \$50 Each

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



66. Over 10 Years Old



67. Over 10 Years Old

**DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)**

**44. Condition:** • Missing CO

**Location:** Throughout

**Task:** Provide

**Time:** Immediate

**Cost:** Less than \$50 Each

**Description**

**General:** • Our inspection of the electrical system included a visual examination of readily accessible components including a random sampling of electrical devices to determine adverse conditions and improper wiring methods, grounding, bonding and overcurrent protection. Performing voltage tests, load calculations or determining the adequacy of the electrical system for future usage is outside the scope of this inspection. Telephone, video, audio, security system, landscape lighting, and other low voltage wiring was not included in this inspection unless specifically noted. It is recommended that smoke detectors be tested at least monthly for proper operation. Those that are older than 10 years should be replaced.

**Service entrance cable and location:** • Underground - cable material not visible

**Service size:** • [200 Amps \(240 Volts\)](#)

**Main disconnect/service box type and location:**

• [Breakers - garage](#)

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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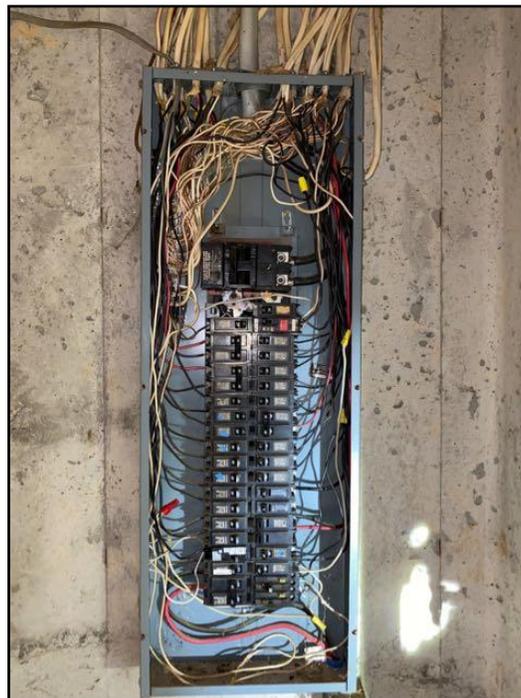


68. Breakers - garage

System grounding material and type: • [Not visible](#)

Distribution panel type and location:

- [Breakers - garage](#)



69. Breakers - garage

# ELECTRICAL

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THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

**Distribution panel rating:** • Could not determine

**Distribution wire (conductor) material and type:** • [Copper - non-metallic sheathed](#)

**Type and number of outlets (receptacles):** • [Grounded - typical](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCIs present](#)

**Smoke alarms (detectors):** • [Present](#)

**Carbon monoxide (CO) alarms (detectors):** • None noted

## Inspection Methods and Limitations

**Panel covers:** • Panel covers are removed to inspect internal components unless otherwise noted in this report.

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

## Observations and Recommendations

### FURNACE \ General notes

**45. Condition:** • Service Furnace

Right side did not respond to thermostat

**Task:** Routine Maintenance and Service by Qualified HVAC technician

**Time:** As Soon As Possible

**Cost:** Minor Regular maintenance item

### FURNACE \ Ducts, registers and grilles

**46. Condition:** • Insulation Missing or Damaged

**Location:** Crawl space

**Task:** Improve

**Time:** As Soon As Possible

**Cost:** \$300 and Up/Regular Maintenance Item



**70.** *Insulation Missing or Damaged*

**47. Condition:** • Poor Support

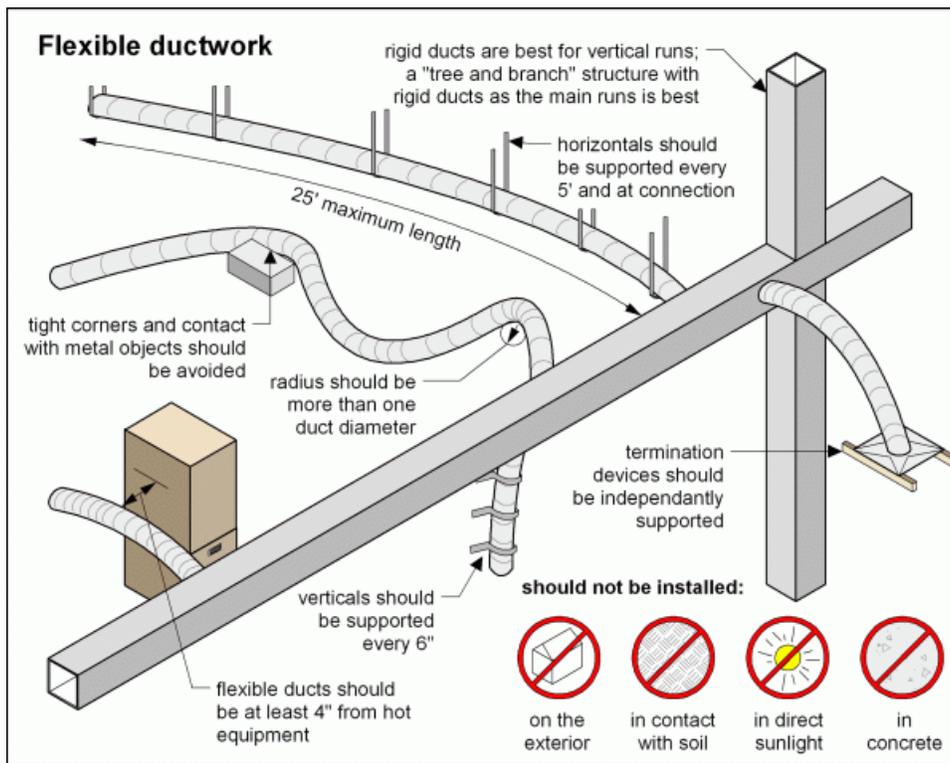
**Location:** Crawl space right

**Task:** Improve

**Time:** As Soon As Possible

**Cost:** Minor

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	<b>HEATING</b>	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



71. Poor Support

## CHIMNEY AND VENT \ Inspect/sweep chimney

48. Condition: • [Fireplace and Wood Stove Maintenance](#)

Fireplaces, Wood burning appliances and their chimneys should be inspected and cleaned before you use them the first time and annually thereafter. We recommend specialists, such as Chimney Sweeps, for this kind of work. Of course there is risk associated with this unknown and depending on your tolerance level, if this is a concern to you, you may consider consulting with a chimney sweep for an interior evaluation of the flue.

**Task:** Inspect and Clean

**Time:** As Soon as Possible, Prior To Use - Annually thereafter

**Cost:** Regular Maintenance Item - Less Than \$250

## FIREPLACE \ Damper

**49. Condition:** • [Inoperative](#)

**Location:** Front right fireplace

**Task:** Consult with a qualified contractor

**Time:** Prior To Use

**Cost:** Depends on the preferred remedy of repair



*72. Inoperative*

## Description

**General:** • Our inspection of the heating and cooling system included a visual examination of the systems major components to determine defects, excessive wear, and general state of repair. Weather permitting, our inspection of a heating or cooling system includes activating it via the thermostat and checking for appropriate temperature response. Our inspection does not include disassembly of the furnace; therefore heat exchangers are not included in the scope of this inspection. Unless otherwise noted in this report this is considered to be a forced air system.

### **System type:**

• Mid-Efficiency Gas Furnace - 18-25 Year Life Expectancy

# HEATING

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[www.home-probe.com](http://www.home-probe.com)

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	<b>HEATING</b>	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



73. Mid-Efficiency Gas Furnace - 18-25 Year Lif...

- Mid-Efficiency Gas Furnace - 18-25 Year Life Expectancy



74. Mid-Efficiency Gas Furnace - 18-25 Year Lif...

Heat distribution: • [Ducts and registers](#)

# HEATING

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THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

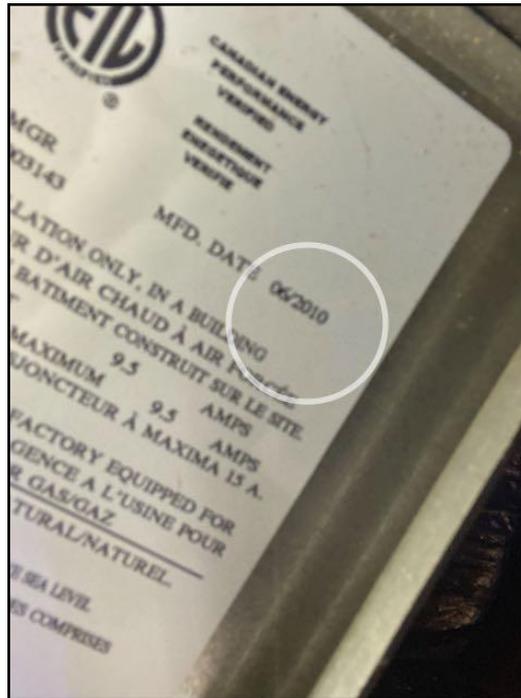
Approximate capacity: • [75.000 BTU/hr](#) • [100.000 BTU/hr](#)

Exhaust venting method: • [Natural draft](#)

Approximate age:

• [11 years](#)

2010



75. 11 years

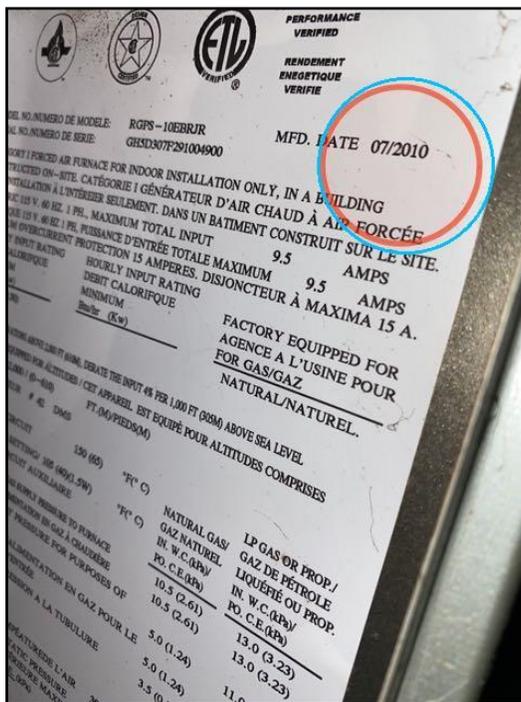
• [11 years](#)

2010

# HEATING

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- KEY FACTOR
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING**
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- THERMAL IM
- NON-SCOPE
- LIMITATIONS
- APPENDIX
- REFERENCE



76. 11 years

**Main fuel shut off at:** • Meter (Exterior Wall)

**Supply temperature:**

- 120°
- Left side

**Supply temperature:** • Right side did not respond to thermostat

**Air filter:**

- 16" x 25"

# HEATING

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KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

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77. 16" x 25"

**Exhaust pipe (vent connector):** • Single wall • Double wall (Type B Vent)

**Auxiliary heat:** • No emergency heat setting

**Fireplace/stove:**

- [Gas logs](#)

# HEATING

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KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

THERMAL IM

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78. Gas logs

## Inspection Methods and Limitations

**General:** • Interior of the ductwork is not inspected as part of this inspection.

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

## Observations and Recommendations

### AIR CONDITIONING \ Condensate system

**50. Condition:** • Improper discharge

**Location:** Crawl space

**Task:** Correct

**Time:** As soon as possible

**Cost:** Minor



79.

## Description

**General:** • Our inspection of the heating and cooling system included a visual examination of the system's major components to determine defects, excessive wear, and general state of repair. Weather permitting, our inspection of a heating or cooling system includes activating it via the thermostat and checking for appropriate temperature response. Our inspection does not include a load calculation test or a flow rating test, therefore the capacity of the system is not evaluated for adequacy.

Unless otherwise noted in the report, this is considered to be a split system.

**Air conditioning type:**

- AC - Air cooled

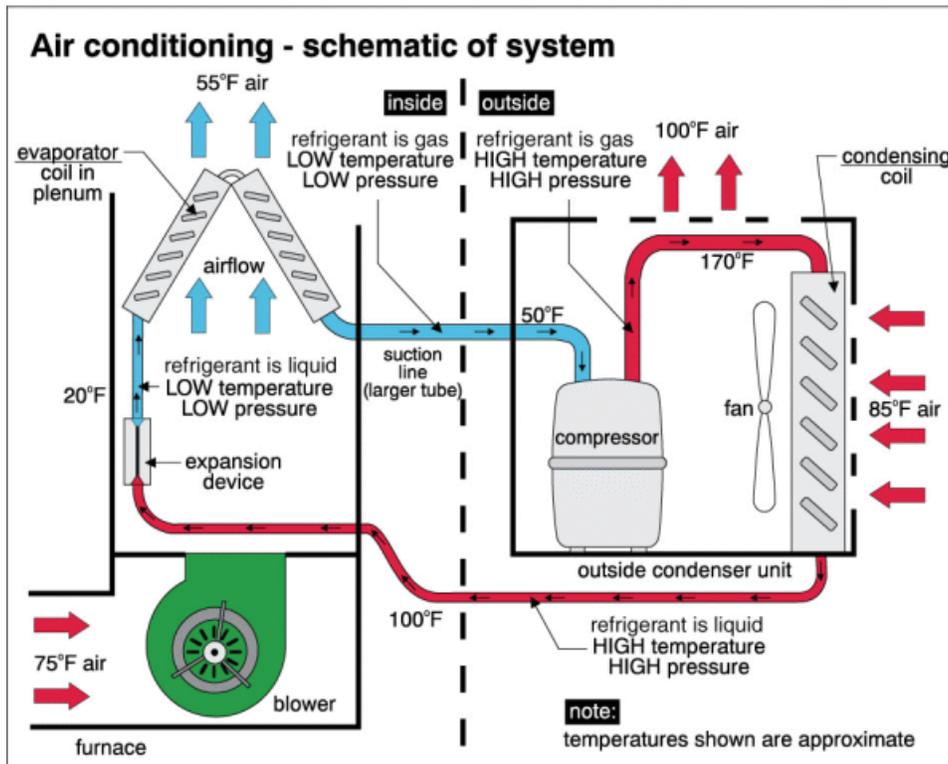
# COOLING & HEAT PUMP

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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80. AC - Air cooled

- AC - Air cooled

# COOLING & HEAT PUMP

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Cooling capacity: • 3 Tons • [3.5 Tons](#)

### Compressor approximate age:

- 11 years  
2010
- 12 years  
2009



81. 12 years

Typical life expectancy: • 10 to 15 years

### Temperature difference:

- 14° - Acceptable temperature difference is between 14° and 22°. This system is performing as intended. Right side
- 16° - Acceptable temperature difference is between 14° and 22°. This system is performing as intended. Left side

Refrigerant type: • [R-410A](#) • [R-410A](#)

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	<b>INSULATION</b>	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

## Observations and Recommendations

### FLOORS \ Floors over unheated areas

**51. Condition:** • Insulation is falling away

**Location:** Crawl space

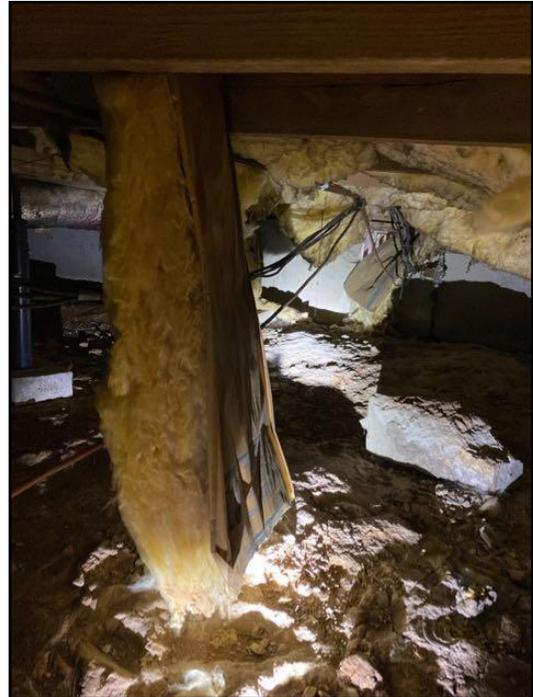
**Task:** Improve or Replace

**Time:** Discretionary

**Cost:** Minor



82. Insulation is falling away



83. Insulation is falling away

### FOUNDATION \ Crawlspace floor

**52. Condition:** • [No vapor barrier](#)

**Location:** Throughout Crawl Space

**Task:** Provide

**Time:** Immediate

**Cost:** \$300 - \$600

# INSULATION AND VENTILATION

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KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

THERMAL IM

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REFERENCE



84. No vapor barrier

## Description

**Attic/roof insulation material:** • Not visible

**Attic/roof insulation amount/value:** • [Not visible](#)

**Attic/roof ventilation:** • [Soffit vent](#) • Turbine vent

**Floor above basement/crawlspace insulation material:** • [Glass fiber](#)

**Floor above basement/crawlspace air/vapor barrier:** • None found

**Crawlspace ventilation:** • [Wall Vents](#) • [Into basement](#)

## Inspection Methods and Limitations

**Inspection limited/prevented by lack of access to:**

- Attic

# INSULATION AND VENTILATION

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THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



85. Attic



86. Attic

**Crawlspace inspection performed:** • By entering space, but access was limited

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	<b>PLUMBING</b>	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

**Observations and Recommendations**

**RECOMMENDATIONS \ Overview**

**53. Condition:** • There are multiple plumbing related items identified in this full inspection report. This is evidence to suggest there have been plumbing repairs, additions, or alterations that were carried out by someone other than a qualified plumber. There will most likely be issues that will only be discovered with time or repetition after the system has been used regularly by its occupants. It is recommended that the entire plumbing system be evaluated by a qualified plumber to determine what immediate repairs will be required and to gain a better and more detailed understanding of the associated costs by a specialist.

**Task:** Qualified Plumber should evaluate

**Time:** Immediate

**Cost:** Depends on the preferred remedy of repair

**SUPPLY PLUMBING \ Water supply piping in building**

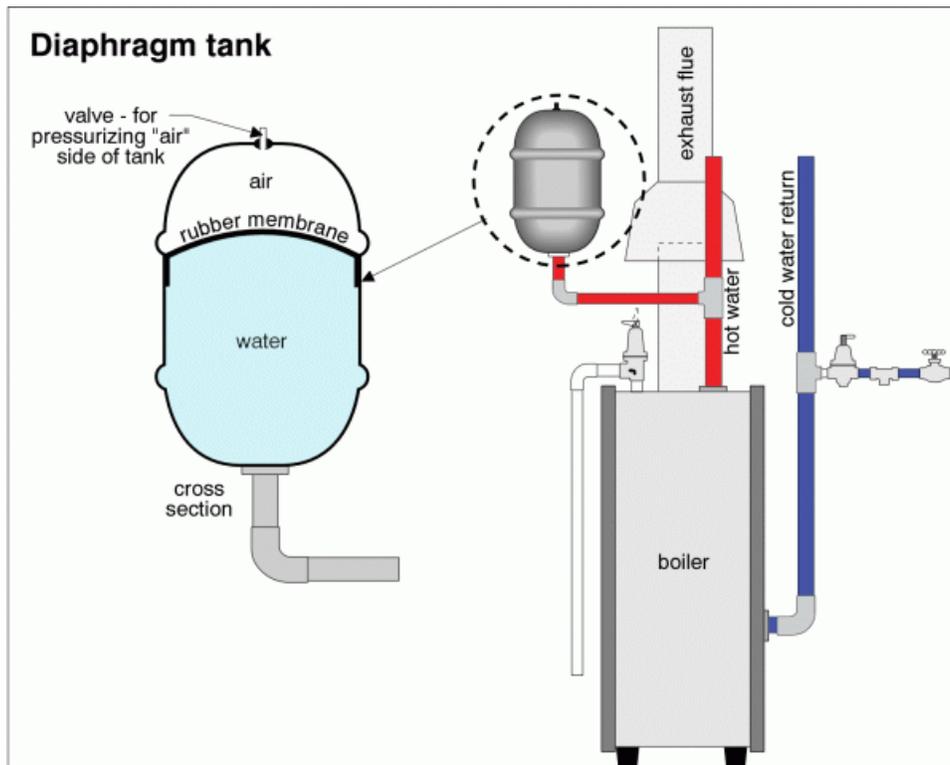
**54. Condition:** • [No thermal expansion tank found](#)

No thermal expansion tank and no other means of thermal expansion release found on the main plumbing line. This has been required in most municipalities since 2001 and should be installed.

**Task:** Provide

**Time:** As Soon As Possible

**Cost:** Minor



**WATER HEATER \ General notes**

**55. Condition:** • Leaking Tank

**Task:** Replace

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	<b>PLUMBING</b>	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

**Time:** Immediate

**Cost:** \$1,000 - \$2,000



**87. Leaking Tank**

**56. Condition:** • Tank Sitting Directly on Dirt

Tank will need to be disconnected and reconnected in most instances

**Task:** Improve

**Time:** Immediate

**Cost:** \$250 - and up



88. Tank Sitting Directly on Dirt

### WATER HEATER \ Life expectancy

**57. Condition:** • Near end of life expectancy

Continue to use the water heater normally and replace when the appliance is no longer functional. Where significant damage from a leak may occur, proactive replacement is recommended.

**Task:** Prepare for Replacement

**Time:** Unpredictable

**Cost:** \$1,000 - \$2,000

### WATER HEATER \ Temperature/pressure relief (TPR) valve

**58. Condition:** • [Discharge tube missing](#)

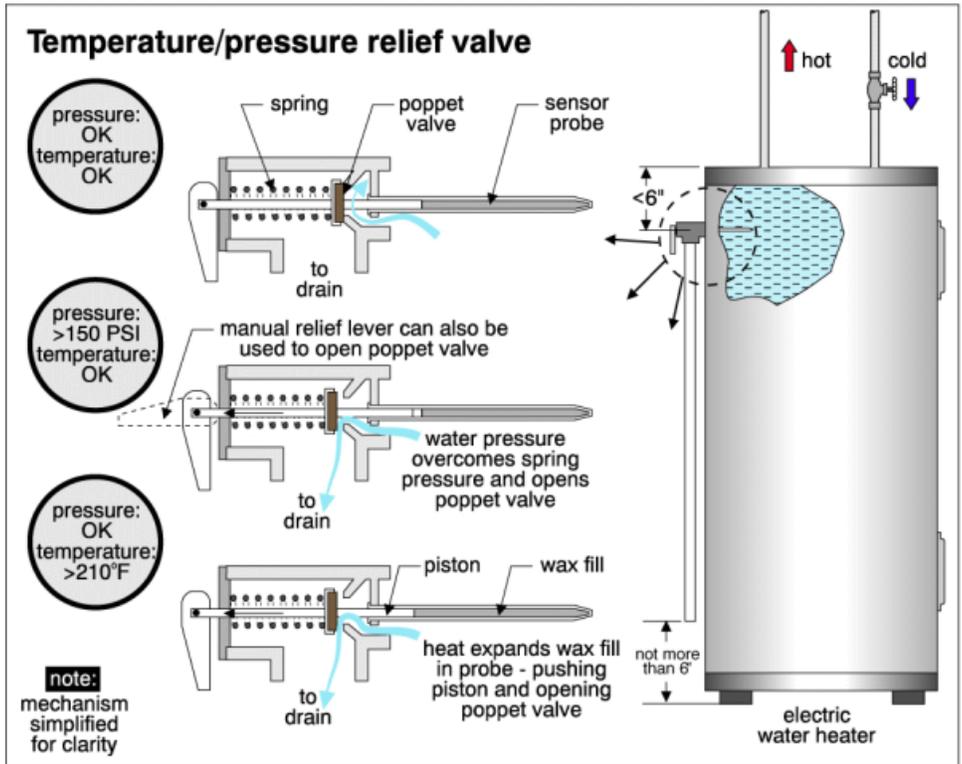
**Location:** Right side

**Task:** Provide

**Time:** Immediate

**Cost:** Minor

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



89. Discharge tube missing

59. Condition: • Discharge arrangement poor  
Location: Left side

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	<b>PLUMBING</b>	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

**Task:** Qualified Plumber should evaluate  
**Time:** As Soon As Possible  
**Cost:** Depends on the preferred remedy of repair

## WATER HEATER - GAS BURNER AND VENTING \ Venting system

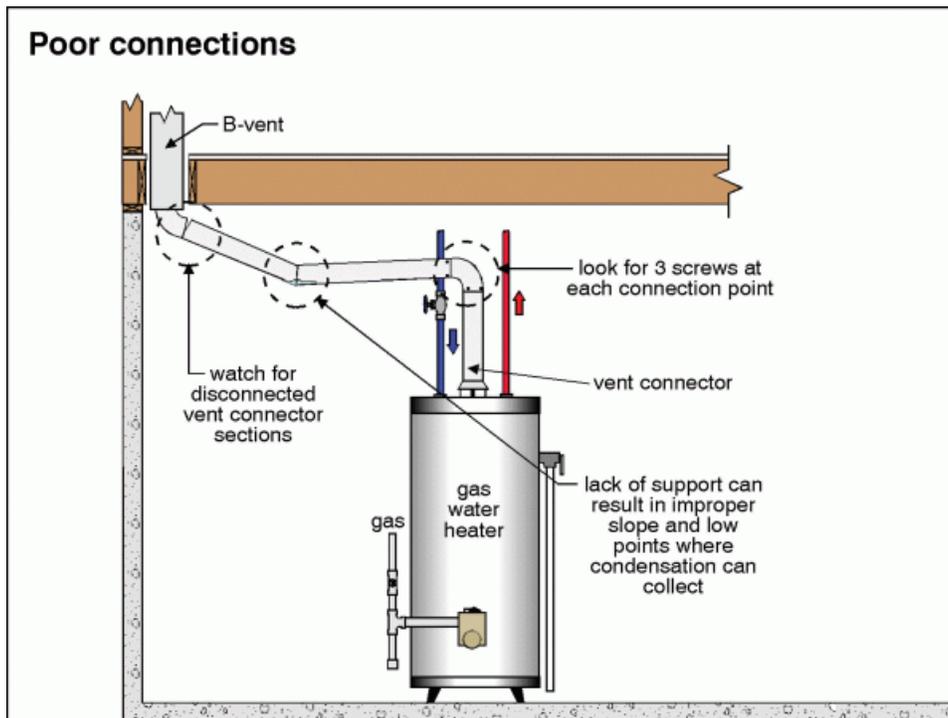
**60. Condition:** • [Poor connections](#)

**Location:** Right side

**Task:** Correct

**Time:** Immediate

**Cost:** Minor



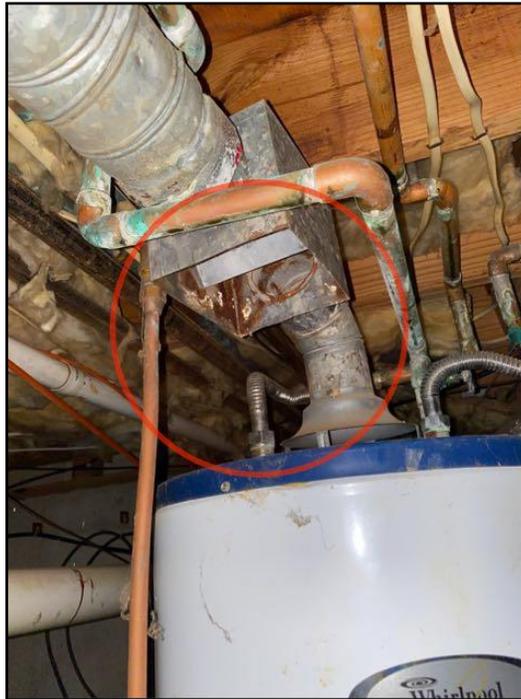
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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	<b>PLUMBING</b>	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



90. Poor connections

## WASTE PLUMBING \ Traps - installation

61. Condition: • [Not visible](#)

Location: Right side half bathroom, master bathroom

Task: Be Advised



91. Not visible



92. Not visible

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	<b>PLUMBING</b>	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

## FIXTURES AND FAUCETS \ Faucet

**62. Condition:** • No hot water at master bathroom left vanity

**Task:** Consult with a qualified specialist

**Time:** As soon as possible

**Cost:** Depends on work needed



93.

## FIXTURES AND FAUCETS \ Basin, sink and laundry tub

**63. Condition:** • [Slow drains](#)

**Location:** Master bathroom left vanity

**Task:** Correct

**Time:** As Soon As Possible

**Cost:** Minor

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	<b>PLUMBING</b>	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



94. *Slow drains*

## **FIXTURES AND FAUCETS \ Bathtub/Shower Stall**

**64. Condition:** • Caulking/Grout missing and or deteriorated

**Task:** Caulking Needed

**Time:** As Soon As Possible

**Cost:** Regular maintenance item

**65. Condition:** • Drain stop missing

**Location:** Left side hall bathroom

**Task:** Provide

**Time:** Discretionary

**Cost:** Minor

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	<b>PLUMBING</b>	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



95. Drain stop missing

**FIXTURES AND FAUCETS \ Whirlpool bath (Hydro-Massage Therapy Equipment)**

**66. Condition:** • Inoperative

**Task:** Repair or replace

**Time:** Discretionary

**Cost:** Depends on the preferred remedy of repair

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	<b>PLUMBING</b>	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



96. Inoperative

## **FIXTURES AND FAUCETS \ Toilet**

67. Condition: • [Loose](#)

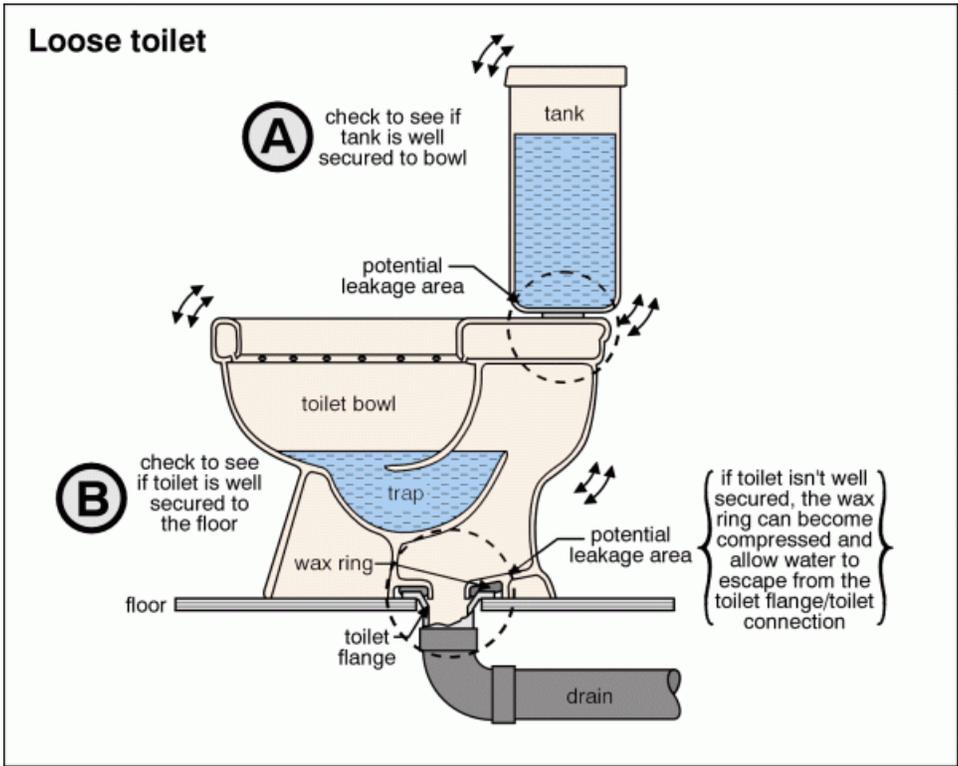
Location: Left side hall bathroom, master bathroom

Task: Secure

Time: Immediate

Cost: Minor

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



97. Loose



98. Loose

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	<b>PLUMBING</b>	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

## Description

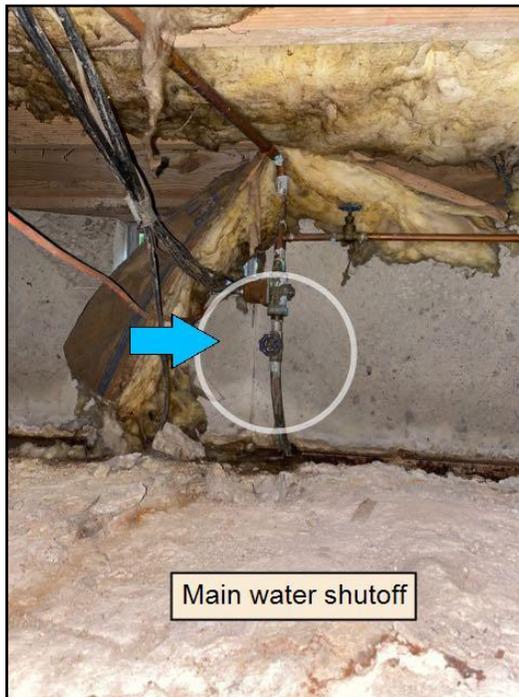
**General:** • Our inspection of the plumbing system included a visual examination to determine defects, excessive wear, leakage, and general state of repair. Plumbing leaks can be present but not evident in the course of a normal inspection. A sewer lateral test to determine the condition of the underground sewer lines is beyond the scope of this inspection. Our review of the plumbing system does not include landscape irrigation systems, water wells, on site and/or private water supply systems, water quality, off site community water supply systems or private (septic) waste disposal systems unless specifically noted.

**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:**

- Crawlspace



99. Crawlspace

**Water flow and pressure:** • [Functional](#)

**Water heater type:**

- Conventional (Tank) Gas Fuel - 8-12 Years Life Expectancy

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	<b>PLUMBING</b>	INTERIOR
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**100. Conventional (Tank) Gas Fuel - 8-12 Years...**

- Conventional (Tank) Gas Fuel - 8-12 Years Life Expectancy



**101. Conventional (Tank) Gas Fuel - 8-12 Years...**

**Water heater exhaust venting method:** • Natural draft

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	<b>PLUMBING</b>	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

Water heater tank capacity: • 50 gallons • [30 gallons](#)

Water heater approximate age:

- 12 years
- 2009



102. 12 years

- 26 years
- 1995

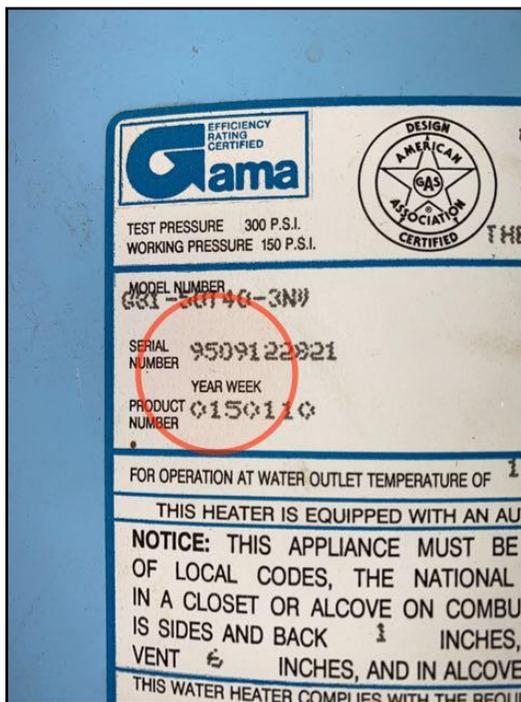
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- KEY FACTOR
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- COOLING
- INSULATION
- PLUMBING**
- INTERIOR
- THERMAL IM
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- LIMITATIONS
- APPENDIX
- REFERENCE



103. 26 years

Waste and vent piping in building: • [PVC plastic](#)

Pumps: • None

## Inspection Methods and Limitations

Items excluded from a building inspection: • Underground waste or sanitary sewer pipes outside of the foundation of the building. • Washing machine supply faucets and drain are not tested.

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					

## Observations and Recommendations

### CEILING \ and Walls

**68. Condition:** • Water Damage

The source of the damage will need to be definitively repaired and then this area will require cosmetic repair.

**Location:** Master bedroom at skylight

**Task:** Repair

**Time:** Immediate

**Cost:** Minor



104. Water Damage

**69. Condition:** • Water Stains

Could not recreate leak at the time of inspection and suggest consulting with seller as to what repairs have been done.

**Location:** Master bedroom

**Task:** Request disclosure

**Time:** Immediate



105. *Water Stains*

**70. Condition:** • Patched/Painted Areas

Patches and painted areas in ceilings are usually from previous leaks that may no longer be leaking or only leak in certain circumstances. Suggest consulting with the seller as to why these repairs have been done.

**Location:** Master bedroom

**Task:** Request disclosure

**Time:** Immediate

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THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



106. Patched/Painted Areas



107. Patched/Painted Areas

**71. Condition:** • Cracks

There is no evidence to indicate this is related to anything other than typical settling or age. Recommend monitoring to ensure cracks do not worsen.

**Location:** Kitchen at skylight, right hallway, front right room, left hallway

**Task:** Be Advised, Monitor cracks to ensure they do not worsen

**Time:** Ongoing

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108. Cracks



109. Cracks



110. Cracks



111. Cracks

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KEY FACTOR

ROOFING

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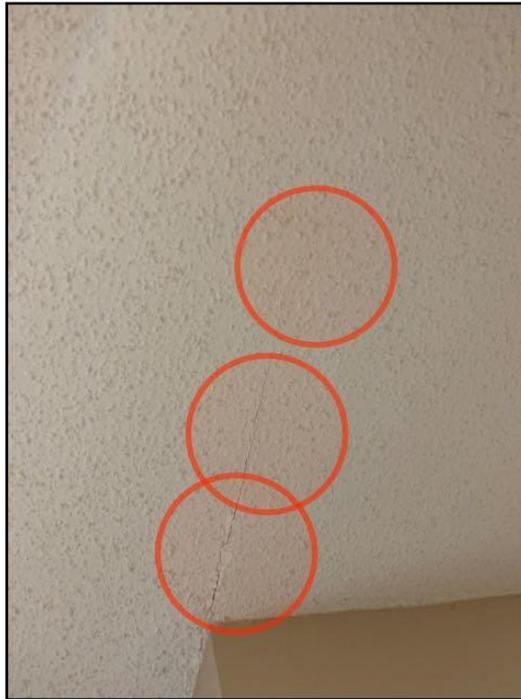
THERMAL IM

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112. Cracks

## CEILINGS \ Fan

**72. Condition:** • Inoperative

**Location:** Back left bedroom

**Task:** Repair or replace

**Time:** Discretionary

**Cost:** Minor

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



113. Inoperative

**FLOORS \ General notes**

**73. Condition:** • Buckled or Swollen

This could be caused from a water issue. Source of water must be identified and corrected, if necessary, before repair or replacement of flooring.

**Location:** Master bedroom

**Task:** Repair or replace

**Time:** As Soon As Possible

**Cost:** Depends on the preferred remedy of repair



114. *Buckled or Swollen*

**74. Condition:** • [Tile - Cracked](#)

**Location:** Left side hall, main hallway

**Task:** Replace

**Time:** If necessary

**Cost:** Depends on the preferred remedy of repair

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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



115. Tile - Cracked



116. Tile - Cracked

**75. Condition:** • Sag/dip

**Location:** Left side hall at bathroom

**Task:** Consult with a qualified contractor

**Time:** As soon as possible

**Cost:** Depends on work needed

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



117.

## **WINDOWS AND DOORS \ General notes**

### **76. Condition:** • Lost/Broken Seals in Double or Triple Pane Windows

Either fogging or moisture was noticed between the panes of glass in one or more windows in this home as outlined in the inspection report.

Please be advised that this is a visual inspection and our best efforts are made to identify every window that may suffer this condition. The photos and locations noted in this report should only be considered representative of the condition and not all encompassing. There are several factors that may prohibit identifying all windows such as cleanliness, time of day, and weather conditions.

We always advise walking through the home prior to closing and suggest you take a second look at the windows in an additional effort to ensure conditions have not changed.

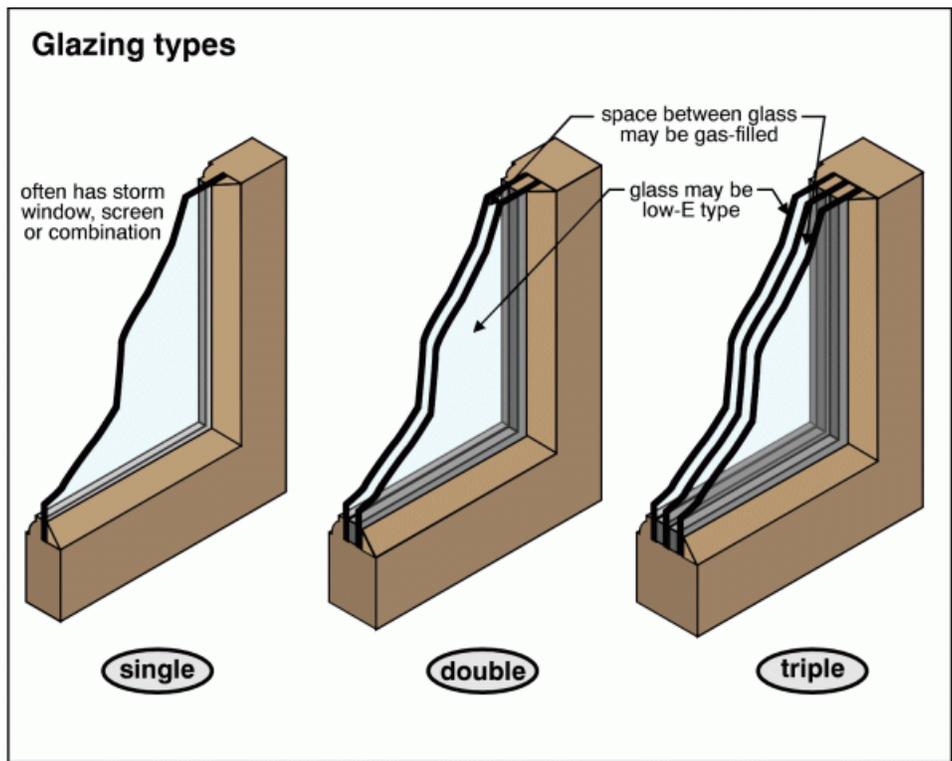
**Location:** Various, master bedroom skylight

**Task:** Repair or Replace

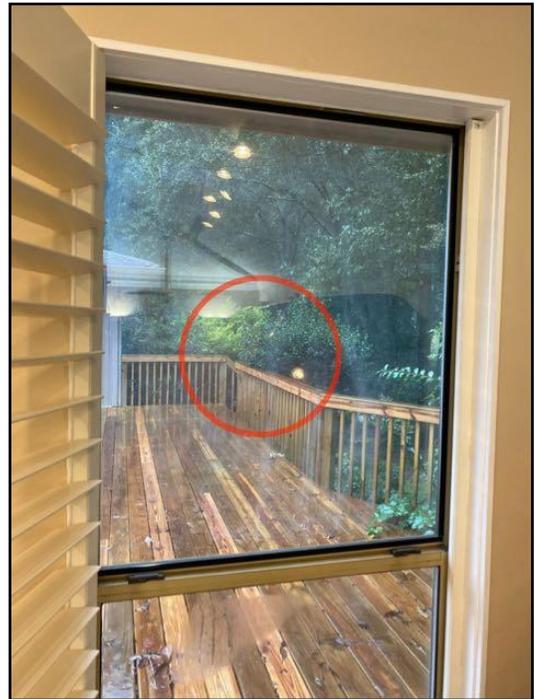
**Time:** If Desired

**Cost:** \$300 - \$600 (Each)

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



118. Lost/Broken Seals in Double or Triple Pane...



119. Lost/Broken Seals in Double or Triple Pane...

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
THERMAL IM	NON-SCOPE	LIMITATIONS	APPENDIX	REFERENCE					



120. Lost/Broken Seals in Double or Triple Pane...



121. Lost/Broken Seals in Double or Triple Pane...

**77. Condition:** • Water Leaks

This usually stems from an exterior flashing or maintenance related issue and will most likely require invasive testing to determine cause and then repair method.

**Location:** Sunroom

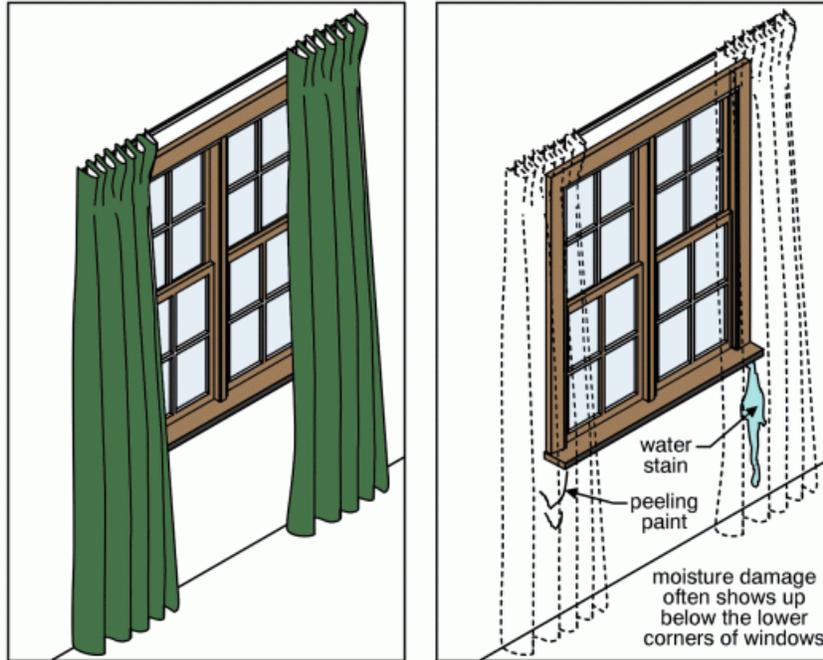
**Task:** Repair

**Time:** Immediate

**Cost:** Depends on the preferred remedy of repair

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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**Look behind window treatments**



**122. Water Leaks**

**78. Condition:** • Cracked/Broken Glass

**Location:** Master bedroom

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**Task:** Replace  
**Time:** As Soon As Possible  
**Cost:** \$150 - \$300 Each



**123.** *Cracked/Broken Glass*

**79. Condition:** • Door Binds  
**Location:** Left side hall bathroom  
**Task:** Adjust  
**Time:** Discretionary  
**Cost:** Minor



124. Door Binds

**80. Condition:** • Key Required for Deadbolt

Recommend replacing keyed deadbolt with hardware that uses interior thumb latch.

**Location:** Left side, garage

**Task:** Replace

**Time:** Discretionary

**Cost:** Minor

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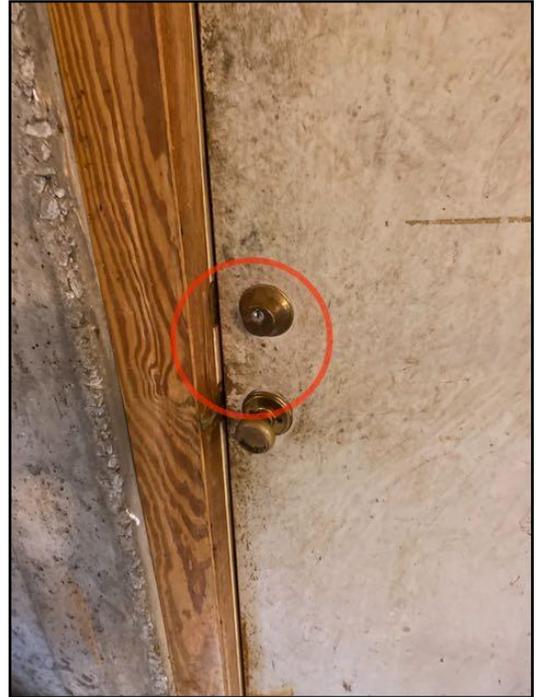
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KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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125. Key Required for Deadbolt



126. Key Required for Deadbolt

**81. Condition:** • Poor Installation  
**Location:** Left side hall bathroom  
**Task:** Improve or Re-install  
**Time:** As Soon As Possible  
**Cost:** Minor



**127.** *Poor Installation*

**82. Condition:** • Damage

**Location:** Basement door trim

**Task:** Repair or replace

**Time:** As Soon As Possible

**Cost:** Depends on the preferred remedy of repair

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KEY FACTOR

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

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128. *Damage*

**83. Condition:** • Poor operation

**Location:** Sunroom sliding door

**Task:** Correct

**Time:** As soon as possible

**Cost:** Depends on work needed

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129.

## CARPENTRY \ Cabinets

84. Condition: • [Stained, worn, damaged](#)

Location: Laundry room

Task: Correct

Time: Discretionary

Cost: Depends on the preferred remedy of repair



130. Stained, worn, damaged

## **CARPENTRY \ Countertops**

**85. Condition:** • Caulking/Grout loose or missing

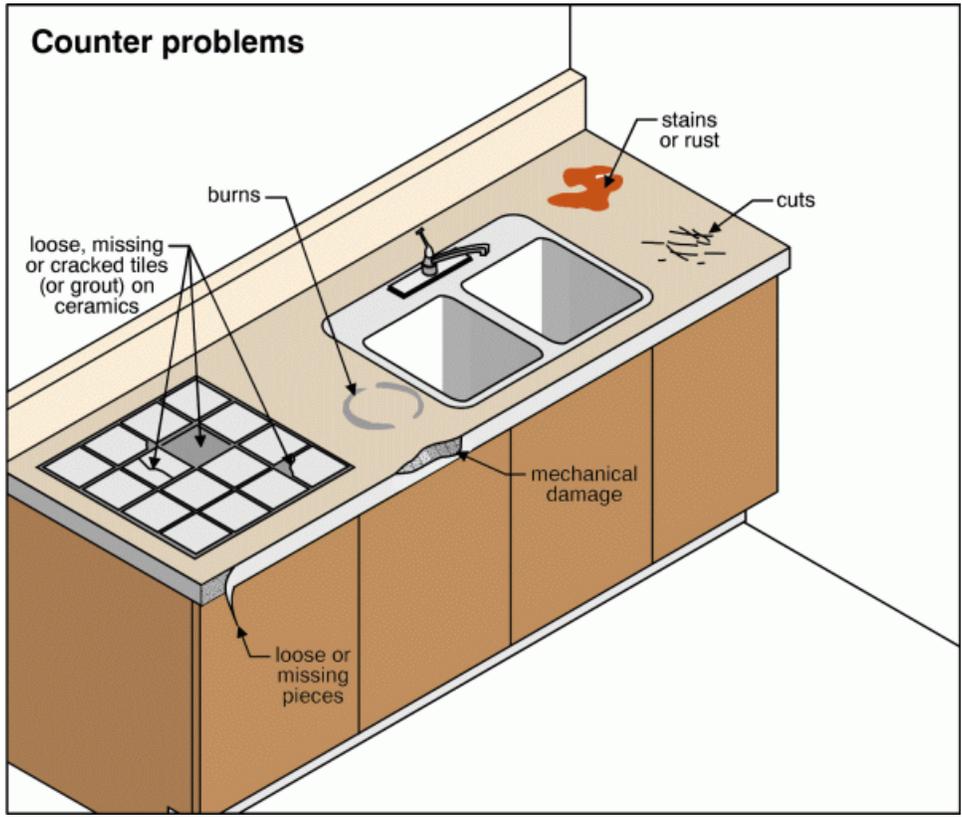
**Location:** Kitchen

**Task:** Caulking/Grout Needed

**Time:** As soon as possible

**Cost:** Minor

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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131. Caulking/Grout loose or missing

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### EXHAUST FANS \ General notes

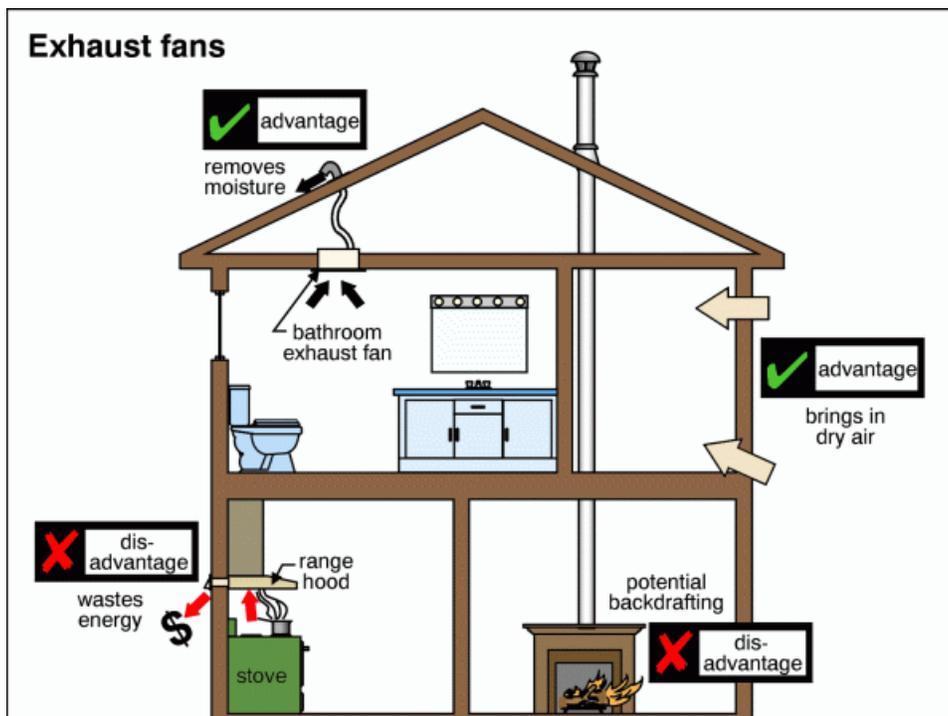
86. Condition: • [Missing](#)

Location: Right side half bathroom

Task: Provide

Time: As Soon As Possible

Cost: Minor



### BASEMENT/CRAWLSPACE \ Leakage

87. Condition: • [Leakage - Read these articles before undertaking any action](#)

88. Condition: • [Leakage - See EXTERIOR section for relevant recommendations](#)

### BASEMENT/CRAWLSPACE \ Water intrusion - evidence

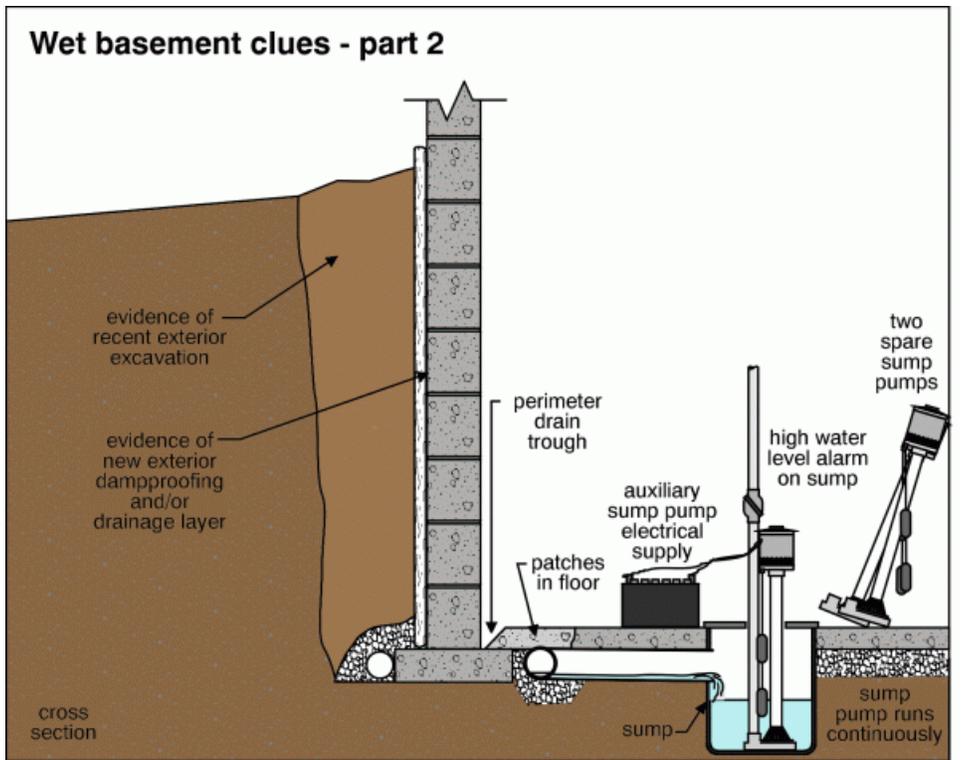
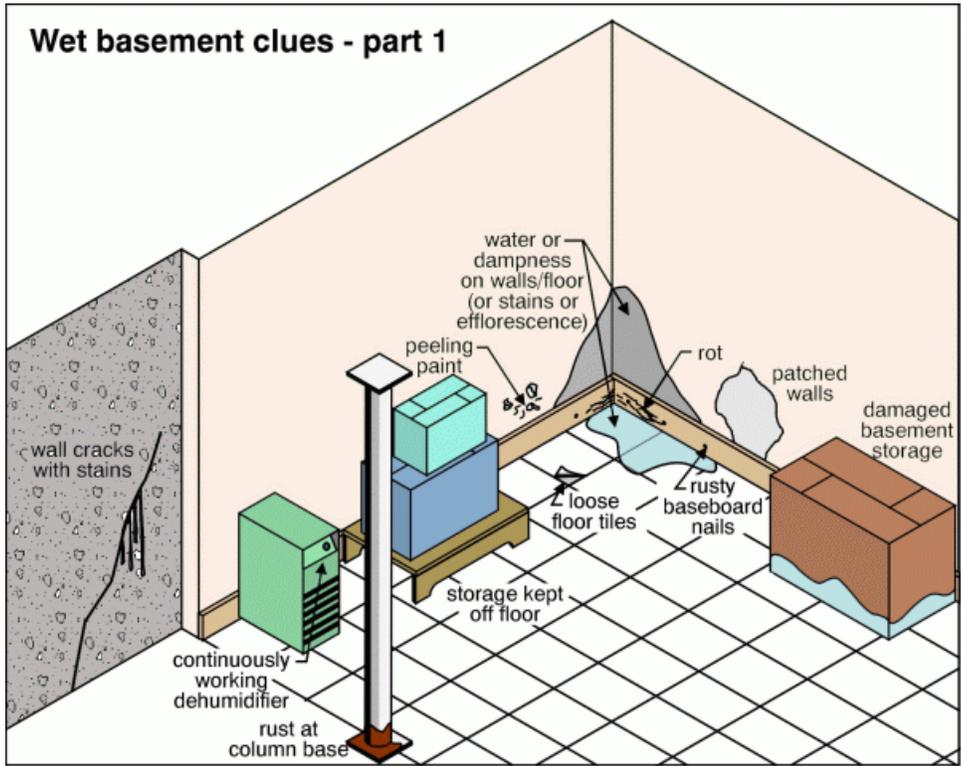
89. Condition: • [Dampness on floor or walls](#)

Task: Consult with a foundation or waterproofing company

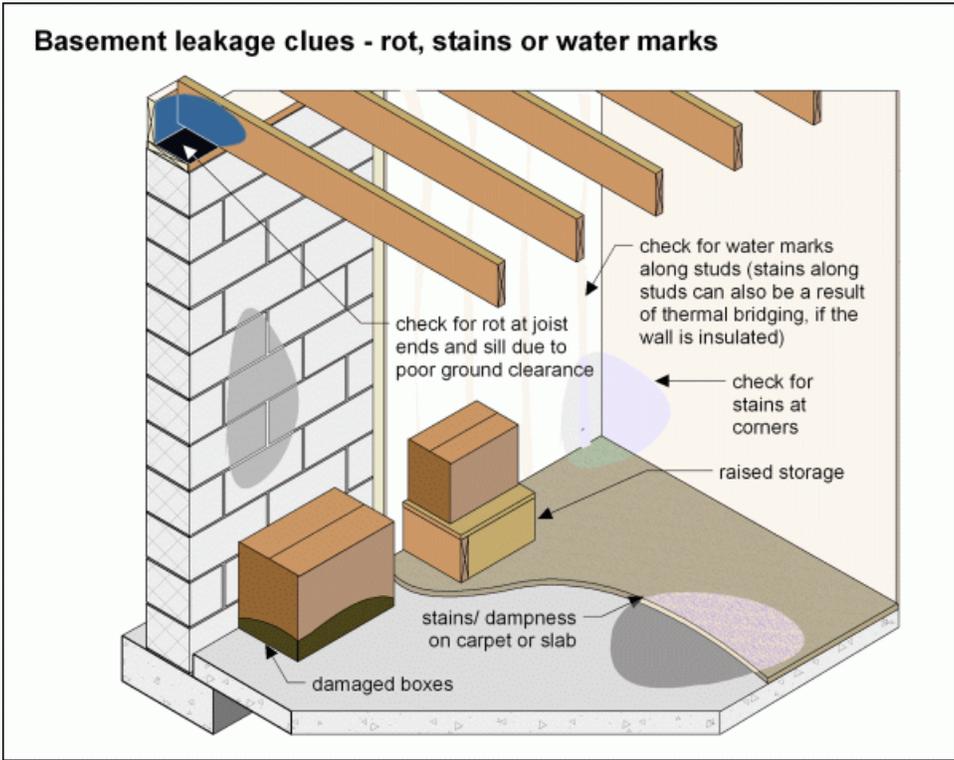
Time: As Soon As Possible

Cost: Depends on the preferred remedy of repair

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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132. Dampness on floor or walls



133. Dampness on floor or walls

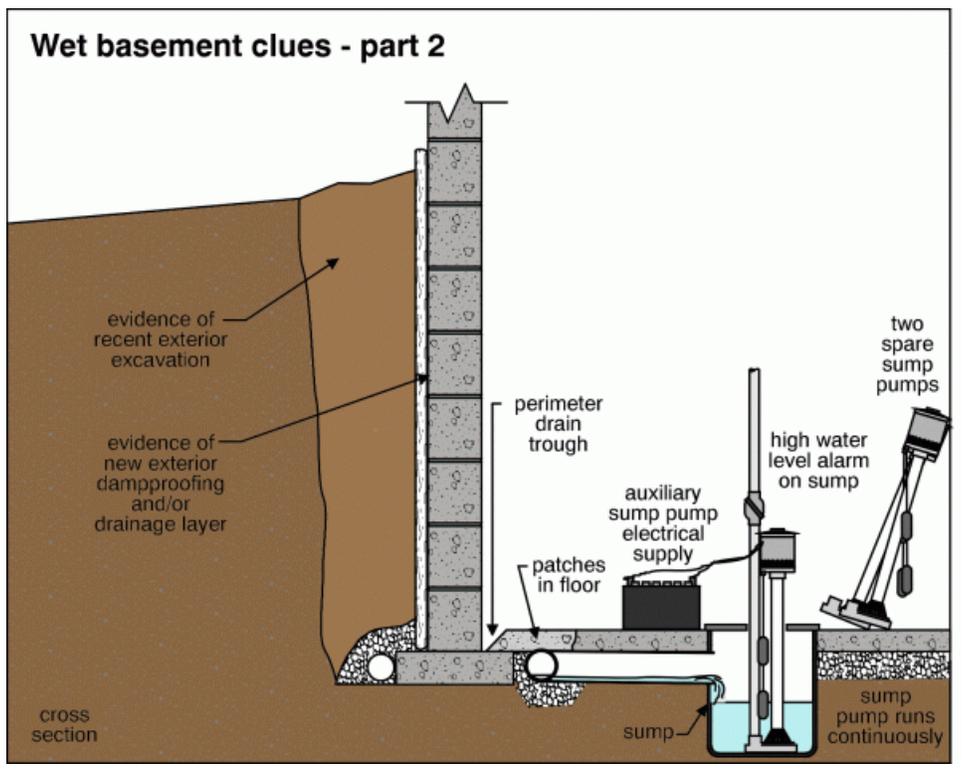
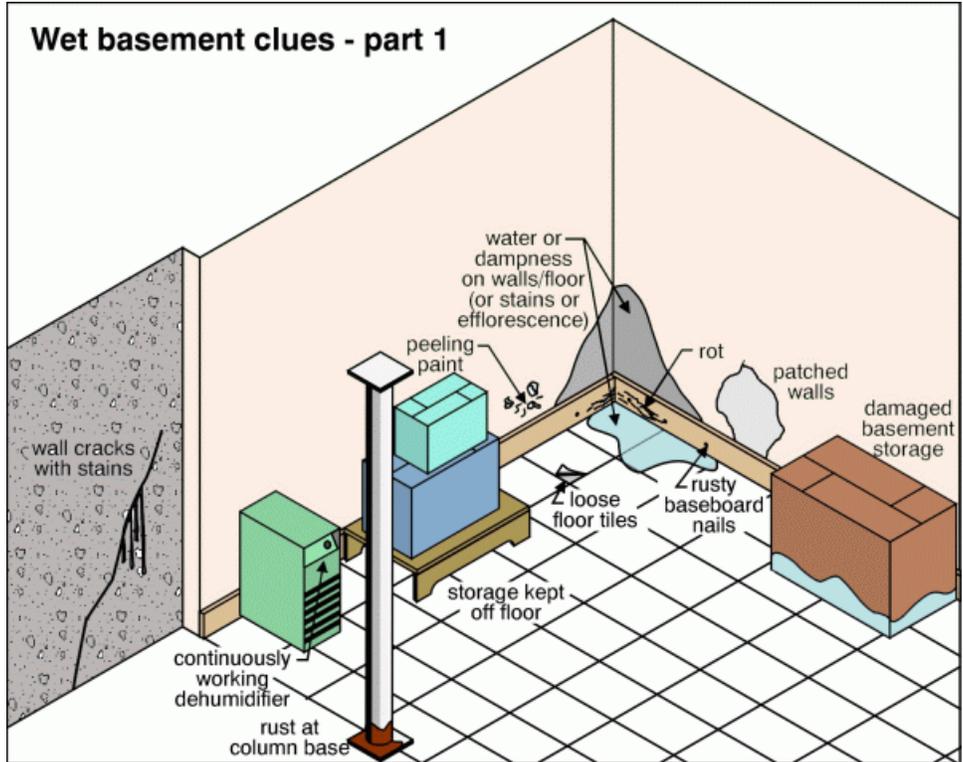
90. Condition: • [Water on floor](#)  
 Location: Throughout crawlspace

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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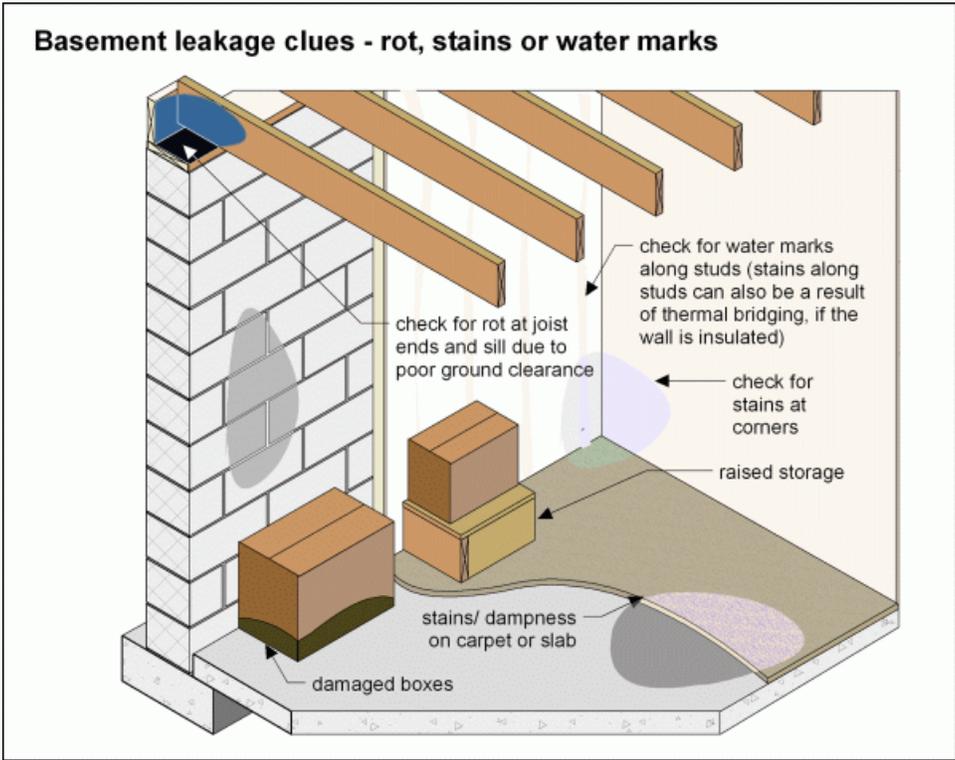
**Task:** Consult with a foundation or waterproofing company

**Time:** As Soon As Possible

**Cost:** Depends on the preferred remedy of repair



KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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134. Water on floor



135. Water on floor

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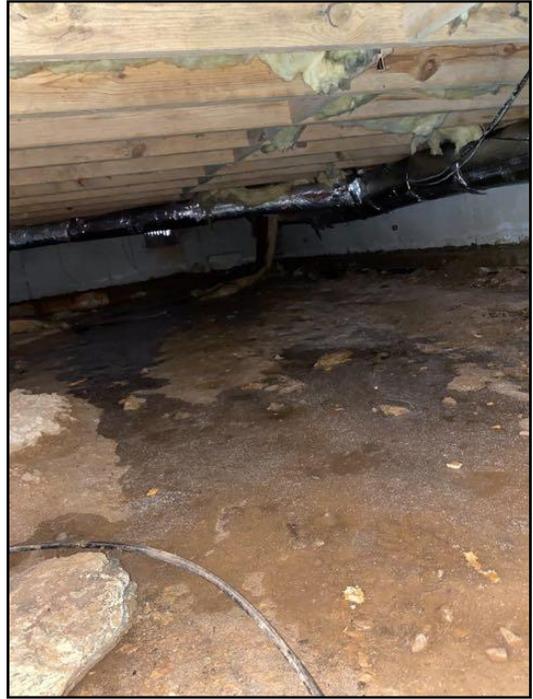
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136. Water on floor



137. Water on floor

## APPLIANCES \ Refrigerator

91. Condition: • Mini fridge frosted over

Location: Pantry

Task: Be advised



138.

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## APPLIANCES \ Trash compactor

**92. Condition:** • Inoperative

**Task:** Repair or replace

**Time:** Discretionary

**Cost:** Depends on the preferred remedy of repair



139. Inoperative

## Description

**Major floor finishes:** • Tile • Laminate/Engineered

**Major wall and ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • Metal • Single Hung • [Sliders](#) • [Skylight](#)

**Glazing:** • [Double](#)

**Exterior doors - type/material:** • [Metal](#) • [Sliding glass](#)

**Oven fuel:** • Electricity

**Range fuel:**

• Gas

KEY FACTOR	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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140. Gas

**Cooktop fuel:** • N/A

**Appliances:** • Refrigerator • Dishwasher • Waste disposal • Range hood • Range • Door bell • Trash compactor

**Appliances:** • Mini fridge

**Laundry facilities:** • Washer • Dryer • Hot/cold water supply • 120-Volt outlet • 240-Volt outlet • Waste standpipe

## Inspection Methods and Limitations

**Inspection limited/prevented by:**

- Storage/furnishings



141. Storage/furnishings

• MOLD/MILDEW/FUNGUS

The Inspection does not include spores, fungus, mold or mildew that may be present as this is outside the scope of a home inspection and there are companies that specialize in environmental issues. You should note that whenever there is water damage noted in the report, there is a possibility that mold or mildew may be present, unseen behind a wall, floor or ceiling.

If anyone in your home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens at additional cost.

**Appliances:** • Pursuant to the ASHI Standards of Practice we perform a visual and operational inspection of all standard, built-in appliances. There are obvious limitations and we cannot confirm their level of performance but only if they are operational at the time of inspection. Appliances limited to the ones listed in this report are turned on and observed. Clothes washers and dryers are not part of this inspection. Refrigerators and freezers are inspected for obvious deficiencies and ice makers and water dispensers are not evaluated.

# THERMAL IMAGING

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## Observations and Recommendations

### RECOMMENDATIONS \ Thermal Inspection Report Information

**93. Condition:** • A Thermal Inspection was ordered and will be delivered within 24 hours of inspection being performed

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Observations and Recommendations

RECOMMENDATIONS \ General

94. Condition: • Evidence of Rodents

There is evidence to suggest there is or has been rodent activity at the property. While we cannot determine if this is a current or even a recent issue, it is recommended that a pest control or wildlife exclusion company be consulted to determine the steps necessary to be taken for remedy. Task: Consult with Wildlife or Pest Exclusion Company Time: As Soon As Possible Cost: \$1,000 and Up

95. Condition: • As noted in the report, there is evidence to suggest that water accumulates, or has accumulated at some point in the past, within the walls of the foundation. This can lead to issues with mold and/or mildew which may not be visible at the time of the inspection and can present itself anytime as a result of moisture problems. All of the water issues in the report should be remedied. Also, we suggest further evaluation by a specialist in this field as a home inspector is not trained for evaluating and reporting on any environmental hazard

Task: Be Advised and Monitor

Time: Ongoing

Description

General: • Cost estimates have been provided throughout the inspection report. This is outside of the scope of a routine home inspection and is provided only as a courtesy to a client of Home-Probe, Inc.

These costs are intended as ball park estimates for repairs and/or improvements to a typical three bedroom home. The costs are based on information obtained in the Atlanta area and from RS Means.

Our experience shows that actual contractor quotes can vary from our figures by as much as 300%. Naturally, the quality of workmanship and materials will influence the cost. The complexity of a certain job, accessibility, and even economic conditions can also alter actual costs. These numbers are intended to be used as a guide only. A guaranteed estimate for all work to be done should be obtained by a qualified contractor PRIOR to commitment to purchase.

The word 'Minor' may be used to describe costs up to roughly \$500 which is unlikely to have an impact on your purchasing decision. • [Unfortunately, unpleasant surprises are part of home ownership. This document helps to explain why things happen and why your home inspector may not have predicted it.](#) • [A list of things you should do when moving into your new home and a few regular maintenance items.](#) • [This document sets out what a professional home inspection should include, and guides the activities of our inspectors.](#) • [Scheduled maintenance can avoid repairs and extend the life expectancy of many home components. This document helps you look after your home.](#) • [This document is a great resource to use when conducting your final walk through prior to closing escrow on your new home. Remember to call our office with any questions.](#)

# LIMITATIONS

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## Observations and Recommendations

### **INSULATION AND VENTILATION \ Limitations**

**96. Condition:** • No Attic Access

There was no attic access available at the time of the inspection. There is always risk associated with inaccessible areas and depending on your tolerance level, we recommend calling our office to schedule a courtesy visit for an inspector to come back to the home for evaluation of this area when access can be provided.

**END OF REPORT**

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## Home-Probe 100 Day Guarantee

**Our commitment to you:**

If it worked when we were there, it should work when you move in.

We like to call this our 2 surprise guarantee. There are three types of surprises in life. Good ones, bad ones and no surprises. We want you to have no surprise at all but if you do, our intention is to keep it from being a bad one.

**MECHANICAL COVERAGE SUMMARY:**

Plumbing: Water lines that are inside the home and visible, faucets, water heaters, drain lines that are inside the home and visible, gas lines that are inside the home and visible.

Electrical: Main service panel, secondary service panel, and wiring that is inside the home and visible.

Appliances: Kitchen Appliances including and limited to oven, range, dishwasher, built-in microwave, trash compactor, and garbage disposal. Refrigerator ice makers and water dispensers are not inspected and cannot be covered in this warranty.

Heating/Air (HVAC): Furnace, Air Conditioner, and Thermostats.

**STRUCTURAL COVERAGE SUMMARY:** Poured Concrete & Block wall foundations. Floor joists, bottom & top plates, and wall members. Roof leak repair (does not include replacement of bad shingles), load bearing walls, attached garage doors.

**COVERAGE TERMS:** This guarantee applies only to those items specifically listed and excludes all others. This contract covers parts and labor only and does not cover consequential or secondary damages. This contract only covers those items that were confirmed to be in good working order at time of inspection and excludes all others, regardless of their condition at the time of inspection or if they were repaired after the inspection. This contract does not cover water damage, cosmetic repairs, or items that are inaccessible without the removal of drywall, concrete, or any other permanently installed covering. This is not a maintenance contract. In order for an item to be covered, it must be maintained in accordance with the manufacturer's standards or be maintained within reasonable standards where no such standards exist.

**EXCLUSIONS:** This contract excludes all appliances, climate control systems, fixtures and roofs believed to be over 10 years old. This contract does not cover plumbing stoppages, regardless of reason. This contract does not cover well or septic systems or any related components. Home-Probe is not responsible for upgrading failed systems to meet current codes or local ordinances. This contract does not cover chimneys, fireplaces, or brick failures of any kind. This contract does not cover cracking or scaling concrete. Roof repair is for leaks only and limited to rolled, composition, or asphalt shingle roof only. This guarantee does not cover interior water damage from leaks as this damage would not have been visible during the inspection.

This contract does not cover pest damage, including that caused by any and all wood destroying insects and pests. Pests including insects and rodents are specifically excluded from our home inspection. All mechanical coverage is limited to those items within the home's foundation and all structural coverage is limited to issues within the home's foundations. Our guarantee has no deductible and is limited to an aggregate maximum of \$2000.00 per address. Home-Probe is not an insurer. This is not a warranty or insurance policy. Any damage caused by any peril is not covered by this contract, which includes but is not limited to; war, riot, civil commotion, earthquake, hurricane, any and all acts of god, or any other outside cause or neglect. All claims on this policy shall be made by the buyer of record only after they have taken possession of the home.

This is a guarantee and items covered are only those that would be inspected pursuant to the ASHI Standards of Practice. Any and all related disputes shall be interpreted and enforced in accordance with the laws of Dekalb County State of Georgia without reference to, and regardless of, any applicable choice or conflicts of laws principles. Any concerns with this guarantee must be received within 100 days of the inspection or within 22 days of closing, whichever comes later and based on the initial inspection date. The coverage under this policy shall come after any and all other warranties in place.

This guarantee is valid upon successful completion of our Home Inspection Authorization Form and after payment of the Home Inspection has been received. Coverage begins on date of original inspection and is not extended on subsequent inspections of same property.

**CLAIMS PROCEDURES:**

1. Written Notification of claim must be received by Home-Probe prior to the expiration of the guarantee (which is defined as noon, the 101st day after the inspection is completed or 22 days after the date of your closing).
2. An itemized repair estimate must be submitted for every approved claim, including the breakdown of parts & labor, as well as a specific cause for the failure in writing from a licensed or properly certified repairperson. Home-Probe reserves the right to request up to two (2) additional estimates. The estimate must include contact information for the repair person.

Claims will be processed after we are in receipt of these items and you will be contacted by a Home-Probe representative within 72 hours of all items being submitted.

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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS

